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SCHEDULE 12 TO THE DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO12**.

WILSON STREET / VICTORIA STREET PRECINCT

1.0

Design objectives

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- To ensure a high standard of building design that displays permeability, flexibility, site responsiveness and environmental sustainability.
- To emphasise the gateway location.
- To ensure new development contributes to safe and active streets.

2.0

Buildings and works

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New development should address the design objectives and requirements for the precinct and each sub-precinct as set out in this Schedule.

An application to develop land must be accompanied by an urban context report and design response. The urban context report and design response must show how the development addresses and achieves:

- The Design Objectives of this Schedule and for the relevant sub-precinct;
- The General Requirements of the relevant sub-precinct;
- For residential development of five or more storeys, the matters set out in Clause 52.35.

The responsible authority may waive or reduce a requirement for information if it considers it to be not relevant to an application.

The height of a building or works is the height of its highest point above the permanent footpath at the centre of the site frontage. If there is no footpath, the natural surface level at the centre of the site frontage is the base level.

The sub-precincts referred to below are the sub-precincts identified on **Map 1- Heights and Setbacks** forming part of this Schedule.

DDO12-1 Precinct 1- Victoria /Wilson Street West

Design Objectives

- To enhance the amenity of Wilson Street / Victoria Street with a standard street wall height up to four storeys.
- To ensure that development is complementary to, and respects the amenity of, the residential development on the north side of Wilson Street.
- To encourage landscaping along the Wilson Street / Victoria Street streetscapes to achieve a high quality pedestrian environment and public realm.

Requirements

General requirements- building setbacks & height

- Buildings should be setback a minimum 3.0 metres to the street up to a height of 14 metres (4 storeys).
- Building elements above 14 metres (4 storeys) should be setback 5.0 metres from the street wall facing the adjacent street.
- The maximum overall building height should not exceed 20 metres. This does not apply to service equipment including plant rooms, lift overruns, solar collectors and other such equipment provided the following criteria are met:
 - No more than 50 percent of the roof area is occupied by the equipment.
 - The equipment is located in a position on the roof so as to minimise overshadowing of neighbouring properties and public spaces.
 - The equipment does not extend higher than 3.6 metres above the maximum overall building height.
 - The equipment is designed and screened to the satisfaction of the responsible authority.

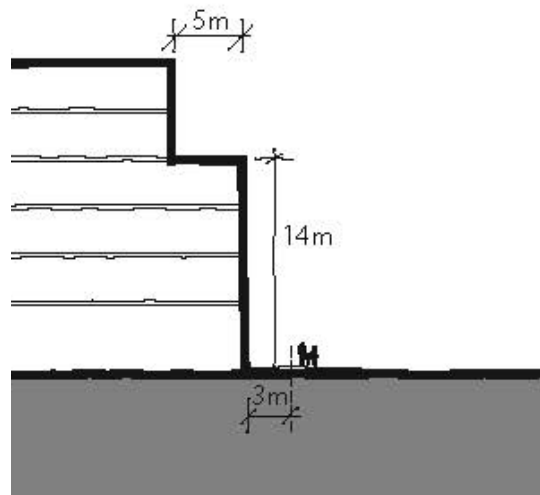


Diagram 1 Building Setbacks

DDO12-2 Precinct 2 - Victoria /Wilson Street East

Design Objectives

- To enhance the amenity of Wilson Street / Victoria Street with a standard street wall height up to four storeys.
- To foster a new and distinct urban character that reinforces its gateway position.
- To provide a transitional scale from the street edge to the higher scale buildings in the south of the sub-precinct.
- To encourage landscaping along the Wilson Street / Victoria Street streetscapes to achieve a high quality pedestrian environment and public realm

Requirements

General requirements – building setbacks & height

- Buildings should be setback a minimum 3.0 metres to the street up to a height of 14 metres (4 storeys).
- Building elements above 14 metres (4 storeys) should be setback 5.0 metres from the street wall and provide a transition to the higher buildings in the south of the sub-precinct.
- The maximum overall building height should not exceed 29 meters. This does not apply to service equipment including plant rooms, lift overruns, solar collectors and other such equipment provided the following criteria are met:
 - No more than 50 percent of the roof area is occupied by the equipment
 - The equipment is located in a position on the roof so as to minimise overshadowing of neighbouring properties and public spaces
 - The equipment does not extend higher than 3.6 metres above the maximum overall building height.
 - The equipment is designed and screened to the satisfaction of the responsible authority.

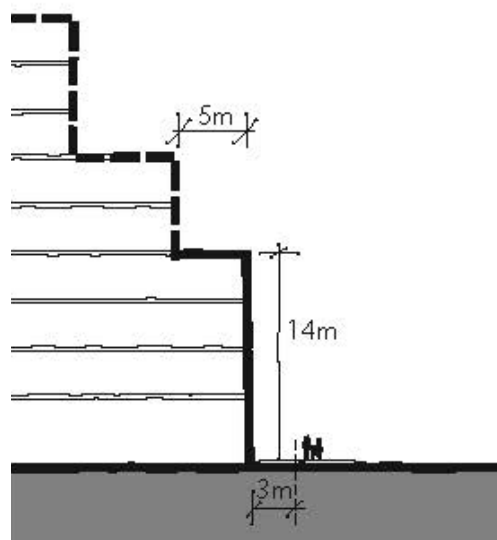


Diagram 2 Building Setbacks

3.0

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Notice and review

An application to construct a building or construct or carry out works which is in accordance with the requirements of this schedule is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

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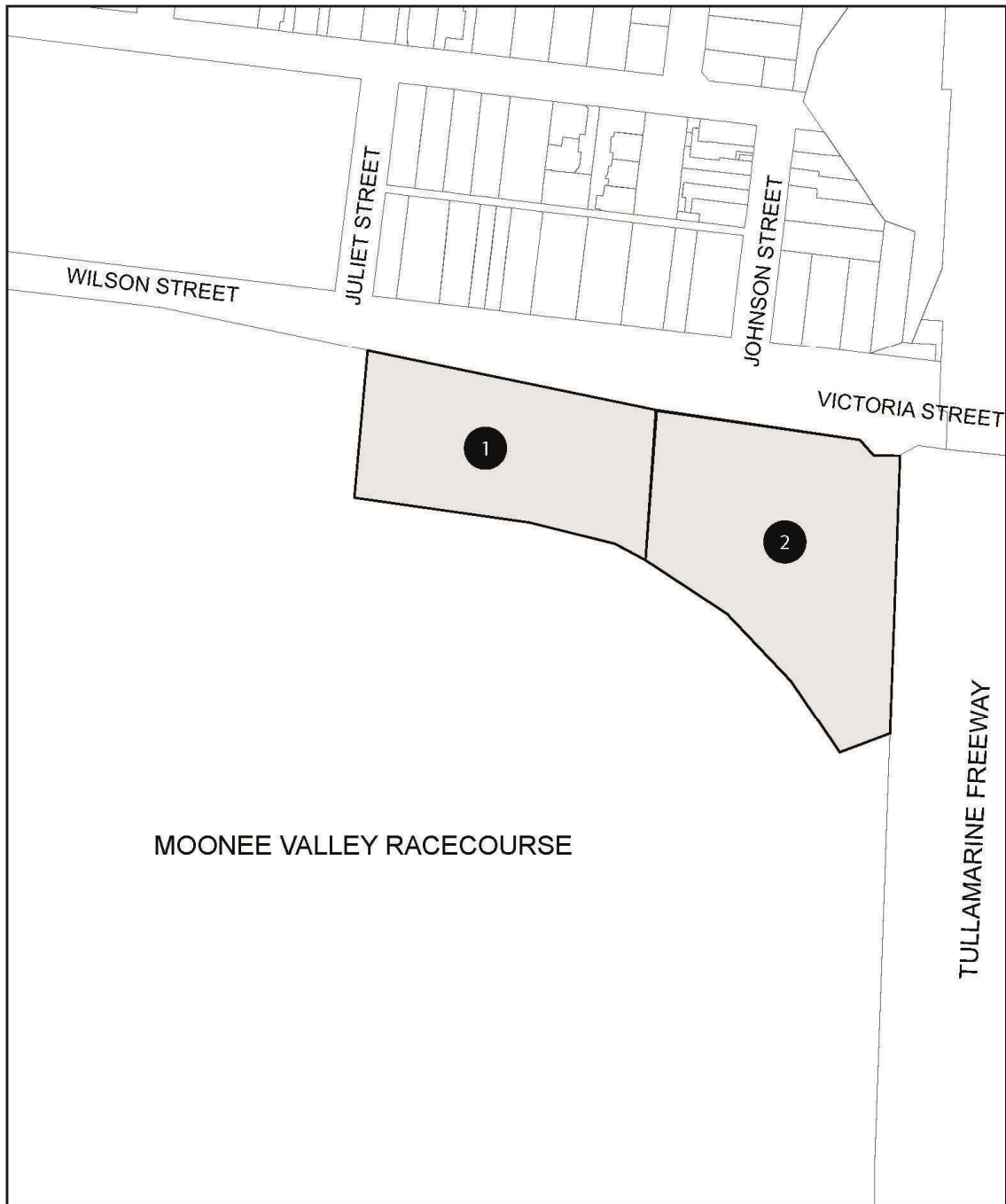
Decision guidelines

Before deciding on an application, the responsible authority must consider:

- The design objectives of this Schedule.
- The urban context and design response.

- Potential amenity impacts upon adjoining residential properties and other uses within the Precinct.
- Whether the proposal achieves an ecologically sustainable design outcome.
- Incorporates Water Sensitive Urban Design (WSUD) principles within new laneway connections while still providing adequate access for users.
- Locates main entry foyers to address road frontages, with service and secondary entries away from the main frontage.
- Minimises the number of access points to on-site car parking from any road, provides a minimum setback to enable vehicles to drive in and provides clearly delineated vehicle crossovers to ensure minimal disruption of the pedestrian environment and traffic flows.
- Avoids above ground car parking where it is visible from the street frontage and where it may diminish the opportunity for ground level activity or pedestrian access.
- Whether new development avoids architectural mimicry.
- Whether new development reflects the important horizontal and vertical patterns of local building stock through careful definition of building levels, entries, fenestration and the proportion and division of solid and transparent façade elements.
- Whether new development incorporates active uses to the roof areas of buildings, either as open space in the sky for building users or as part of a green roof sustainability initiative.

Map 1- Heights and Setbacks



Design and Development Schedule 12 Area



Precinct 1 - Wilson Street / Victoria Street West
14 metres (four storeys) at street edge, 20 metres (six storeys) overall



Precinct 2 - Wilson Street / Victoria Street East
14 metres (four storeys) at street edge, 29 metres (nine storeys) overall