

20/12/2012  
C127**SCHEDULE 2 TO THE DEVELOPMENT PLAN OVERLAY**

Shown on the planning scheme map as **DPO2**.

**VALLEY LAKE ESTATE MEDIUM DENSITY HOUSING SITES****1.0**20/12/2012  
C127**Requirements for a development plan (medium density housing sites as shown as Precincts A – D on the Medium Density Housing Site map forming part of this Schedule)**

The purposes of the requirements in this Schedule are to:

- To identify land that is suitable for medium density housing development.
- To ensure that buildings and works are appropriately designed and sited to acknowledge the topography of the land and the proximity of the lake.
- To ensure that any new development will not have an unreasonable effect on the residential amenity of the surrounding areas.
- To establish a maximum dwelling density for each precinct.
- To integrate traffic circulation and access with the road network.
- To ensure an appropriate level of car parking is provided.
- To ensure that new development is of a height and scale that will be compatible with the surrounding built form context.
- To facilitate the introduction of appropriate landscape setbacks and provide for a high standard of landscaping that is responsive to the preferred landscape character for the surrounding area.

In addition to the requirements of the Scheme, the Development Plan and the permit in respect of the relevant precinct must show:

- A maximum number of dwellings in accordance with the following:
  - Precinct A: 72 dwellings
  - Precinct B: 136 dwellings
  - Precinct C: 32 dwellings
  - Precinct D: 20 dwellings

The various precincts are shown on the Medium Density Housing Sites map as set out in this Schedule for the Valley Lake Estate.

A Development Plan approved for any precinct (and any subsequent permit in respect of the development of the precinct) where relevant must show:

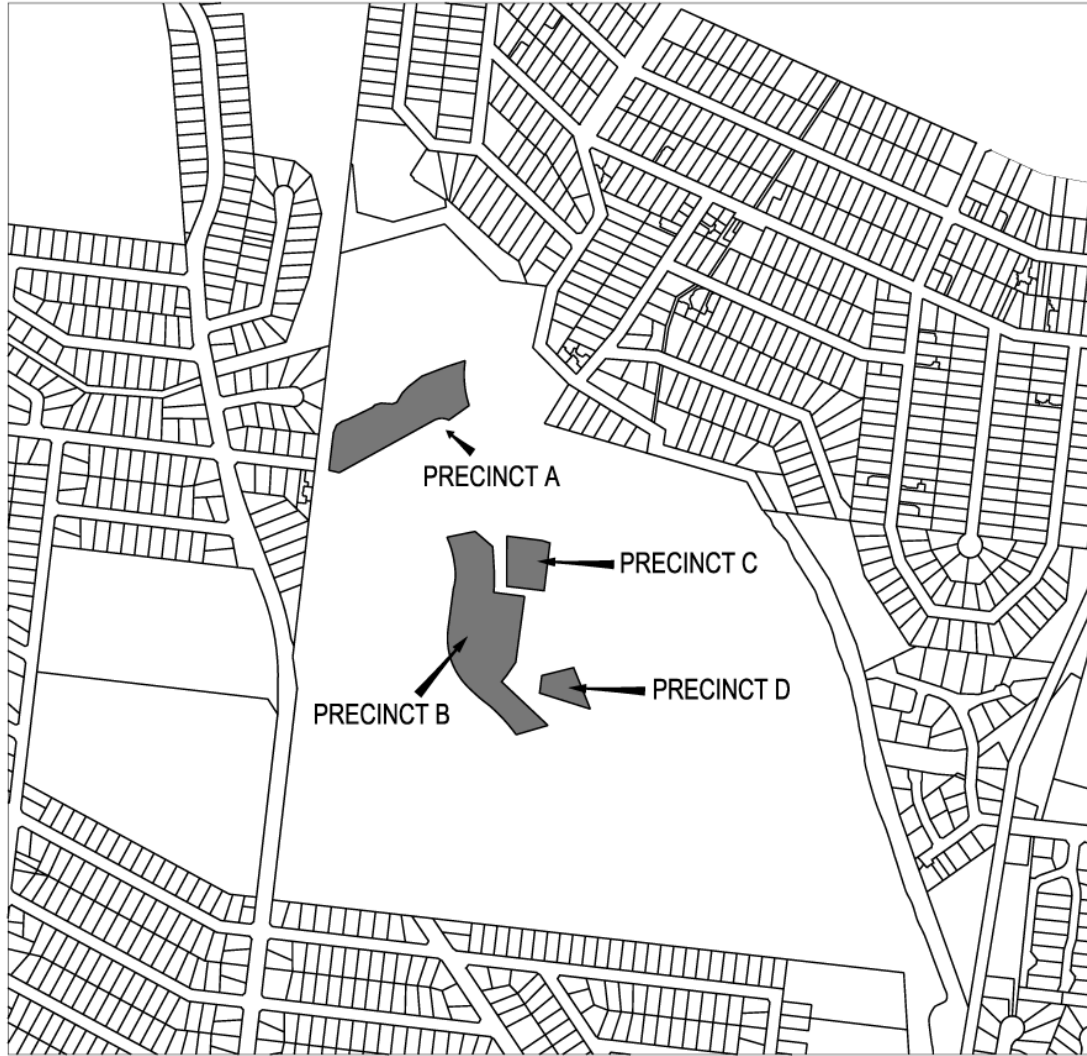
- Buildings, access, landscape setbacks and all other features generally in accordance with the Height and Setback Plan for the respective precinct.
- The location, layout, design and construction details of access ways and areas set aside for bicycle and car parking (including visitor car parking).
- No garage or car parking space(s) located in such a way that it is obtrusive when viewed from Valley Lake Boulevard or Granite Way.
- The location and proposed dimensions, height, floor area and elevations of all buildings and works (including any above roof facilities).
- Details of all building materials including colours and finishes.

- Buildings that front Valley Lake Boulevard designed and sited to ensure an appropriate presentation to the public realm and to provide a transition to adjacent development outside the medium density housing precincts.
- Vehicle access ways to the respective precincts(s), in accordance with the following:
  - Precinct A: Maximum of one vehicle crossover from Granite Way;
  - Precinct B: Maximum of two vehicle crossovers from Valley Lake Boulevard;
  - Precinct C: Maximum of one vehicle crossover.
  - Precinct D: Maximum of two vehicle access ways (multiple vehicle crossovers to dwellings are allowed in addition to access ways).
- The location of pedestrian paths indicating circulation within and through the respective precinct(s) and linkages from each of the respective precinct(s) to nearby public open spaces, paths and roads.
- The incorporation of view corridors for Precincts A and B with a minimum width of 3 metres and appropriately spaced apart to ensure buildings do not present as a continuous form and to provide view lines through each precinct, with the minimum number of view corridors for each precinct as follows:
  - Precinct A: 3
  - Precinct B: 4
- The location and details of all urban design features of the development, including streetscape elements and associated paving and landscaping beautification.
- The location of any open space or foyer or pedestrian areas and the provision for associated landscaping.
- The relationship of the development to existing or anticipated development on adjoining land and describe how the elevations and building design address the issues of overshadowing, daylight, energy efficiency and bulk.
- The location and details of screening of waste collections areas.

A separate development plan may be prepared for each Precinct A - D however each development plan must address the whole of the applicable precinct.

The development plan for each precinct may be amended with the consent of the Responsible Authority.

### MEDIUM DENSITY HOUSING SITES - VALLEY LAKE ESTATE



**LEGEND**



**MEDIUM DENSITY HOUSING SITES (PRECINCTS A-D)**



**SCALE**  
40 0 40 80 160  
LENGTHS ARE IN METRES

