

10/05/2012  
C80**SCHEDULE 21 TO THE DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO21**. Precinct boundaries are shown on the final page of this Clause.

**CARLISLE STREET MAJOR ACTIVITY CENTRE****Definitions**

**Street-wall Height** is the height of the wall at zero setback from the adjoining pavement. Where there is no pavement the height is to be measured from the ground level adjoining the site.

The **Southern Footpath** is deemed to be the space extending 4 meters from the property line of buildings on the southern side of the street.

**Carlisle Street Major Activity Centre** is referred to as **CSMAC** in this Schedule.

**1.0**10/05/2012  
C80**Design objectives****General**

To ensure well-designed new development which contributes to the desired land use change and preferred built form character of specific precincts and strategic sites within the CSMAC, as envisaged by the *Carlisle Street Activity Centre Structure Plan (2009)* and the *Carlisle Street Urban Design Framework (2009)*. The precincts defined in the UDF comprise:

- Area 1: Carlisle Street West Precinct
- Area 2: Carlisle Street Core Retail and Eastern Precinct
- Area 3: St Kilda Road Business Precinct
- Area 4: Inkerman / Pakington Streets Mixed-Use Precinct
- Area 5: Chapel Street Mixed-Use Precinct
- Area 6: Chapel Street North Precinct
- Area 7: William Street Industrial Precinct (no content within this Clause).
- Area 8: Supermarkets Precinct (Note: incorporates strategic sites 9 and 10 of UDF)
- Area 11: Marlborough Street Car Park Site
- Area 12: Balaclava Station Car Park Site
- Area 13: St Kilda Parish Mission Site
- Area 14: Australia Post Delivery Centre Site

*Urban Structure and Identity*

- To maintain the linear heritage streetscape, fine grain and human scale of the traditional shopping strip along Carlisle Street.
- To maintain the characteristic hard edged alignment of built form to the street.
- To promote a consistent street-wall height as a unifying element within precincts across the activity centre.

- To reinforce, reinstate and extend the fine grain 'grid' pattern of streets and laneways.
- To encourage innovative, contemporary architecture adjacent laneways.
- To protect view lines of landmark buildings, urban icons and 19th century railway infrastructure, as identified in the Carlisle Street Urban Design Framework (2009).
- To ensure new development on 'corner' and 'entry' sites contributes to a sense of arrival to the activity centre.

*Built Form Character and Cultural Heritage*

- To ensure new development is of a scale and form which respects any adjoining or nearby heritage place.
- To encourage the adaptive reuse of buildings which contribute to the heritage or built form character of a precinct.
- To encourage new contemporary development and innovative design responses which respect the existing heritage fabric whilst contributing to the layering of the centre's built form character.
- To ensure new development on larger or consolidated sites expresses the predominant fine urban grain of the wider streetscape.
- To ensure new development builds upon the diverse and distinct built form character of individual precincts, as defined by setbacks, heights, building rhythm and materials.
- To encourage new development to incorporate urban art that expresses the identity and cultural heritage of the locality.

*Public Realm and Pedestrian Environment*

- To ensure that new development is of a scale and form that does not overwhelm the public realm.
- To ensure that buildings provide a clear definition between the public and private realm, to assist in defining the space of the street and to provide street enclosure.
- To ensure new development makes a positive contribution to the safety and amenity of the street for pedestrians.
- To ensure year round solar access to key pedestrian spaces, in particular the southern footpath along Carlisle Street.
- To ensure the design of new development maximises passive surveillance of the public realm.
- To ensure new development presents an active edge to the public realm at street level.
- To ensure pedestrian entries are clearly visible from the public domain.
- To ensure laneways and smaller streets of the activity centre are maintained as significant pedestrian connections.

*Sustainable Design and Design Excellence*

- To ensure new development is of a high architectural standard in terms of its form, scale, massing, articulation, roof profile and materials, and that these design elements respond appropriately to the streetscape context.
- To incorporate Crime Prevention Through Environmental Design (CPTED) principles in the design of new development and the public realm.
- To ensure new development achieves a range of sustainable design outcomes through the use of Ecologically Sustainable Design (ESD) and Water Sensitive Urban Design (WSUD) principles.

- To ensure buildings are flexibly designed to enable adaptation to a variety of future uses.

#### *Residential Amenity and Interface*

- To encourage new development at the edge of the activity centre that improves the interface and connection to surrounding residential areas.
- To ensure the design of buildings contribute to a high standard of amenity for residents across the activity centre.
- To ensure the amenity of adjoining and nearby residential properties is not unreasonably impacted by new development within the activity centre.
- To ensure new development at increased densities respects the scale of and provides a sensitive transition to any adjoining low scale residential building.
- To ensure new residential development within and proximate to the activity centre is provided with adequate visual and acoustic privacy.
- To ensure new residential developments have safe, convenient and identifiable residential addresses.
- To ensure new residential developments are sited, oriented and configured to receive adequate solar access, natural light and natural ventilation.

## **2.0**

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### **Buildings and works**

#### **Permit requirement**

A permit cannot be granted to vary any mandatory requirements of this Schedule. This does not apply to the following circumstances:

- A permit may be granted to allow architectural features that do not exceed the required height by more than 2 metres. The floor area of these features must not exceed 10% of the gross floor area of the top building level.
- A permit may be granted to increase the street-wall height and overall building height where a site is within the Special Building Overlay. In this circumstance the height requirements of this schedule should be read to mean height above the 1:100 year flood level. Increased heights must comply with any solar access requirements of the precinct.

A permit may be granted to vary the mandatory requirements as specified in this Schedule in the above circumstances, or to vary the discretionary requirements as specified in this Schedule, subject to the proposal achieving the Design Objectives in section 1.0, the Preferred Character and Design Objectives of the relevant precinct, and any local planning policy requirements, to the satisfaction of the responsible authority.

In this schedule reference to a 'storey' is reference to an above-ground storey and does not include a basement.

## **3.0**

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### **General Requirements**

- Buildings must have a zero setback to the street frontage, unless otherwise specified in this schedule.
- On corner sites, buildings must address both street frontages with either door openings or street level windows.
- The street-wall should be built to the side boundaries, unless otherwise specified in this schedule.

- The building facade on sites with a frontage over 10 metres must be well articulated through variations in forms, materials, openings or colours or the inclusion of vertical design elements.
- Side walls, including at upper level above adjoining buildings, must be visually recessive through variations in forms, materials, openings or colours.
- The design of new development should incorporate weather protection along key pedestrian streets.
- Solar access must be maintained to the southern footpath of Carlisle Street between 11am and 2pm on the 21st of June.
- New development must provide an active frontage to any adjoining street:
  - Within the Business 1 zone, a 'retail active edge' should be characterised by a clear-glazed façade from footpath level to a height of 2 metres with pedestrian entries at least every 15 metres.
  - A 'commercial active edge' should be characterised by at least 50% clear-glazing between a height of 1 metre and 2 metres above footpath level with pedestrian entries at least every 30 metres.
  - A 'residential active edge' at street level should incorporate multiple entries and clear glazing with potential to be setback from the street and within private open space to provide privacy whilst still allowing for surveillance.
  - At upper levels, windows and balconies or terraces should overlook the street and laneways.

These requirements may be varied where they would diminish the heritage value of a building.

- Side and rear setbacks at boundaries with properties zoned Residential 1, including where separated by a laneway, should comply with the objectives of Clause 54.04-1 / 55.04-1 (side and rear setbacks objective) of the Port Phillip Planning Scheme.
- Development at boundaries with properties zoned Residential 1, including where separated by a laneway, should comply with the objectives of Clause 54.04-5 / 55.04-5 (overshadowing open space objective) of the Port Phillip Planning Scheme.
- Vehicular access must be provided from the rear or side of lots wherever possible, and where specifically required in this schedule.
- The visibility of car parking from the public realm must be minimised.
- New garage doors must be integrated with the design of the building and not dominate the street.
- Pitched roofs above eaves / parapet, lift over-runs or plant rooms must be designed as integrated elements within the design of the building to minimise visibility from surrounding streets.
- Any new development on land within a heritage overlay must comply with the Port Phillip Heritage Policy at Clause 22.04 of the Planning Scheme.
- New development should incorporate the retention and adaptive reuse buildings and urban icons (as identified in the City of Port Phillip Urban Iconography Study, 2004), and buildings which contribute to the character of a precinct (as identified on the City of Port Phillip Neighbourhood Character Policy Map).
- Where a site is within more than one precinct (area) in the Table to Schedule 21, each street frontage must conform to the requirements of the relevant precinct provisions. Where part of a site is within another precinct, but does not have any street frontage, this part may be considered as part of the main precinct so as long as it does not adversely impact on the Design Objectives of both precincts.

**4.0**10/05/2012  
C80**Application requirements**

- Any development application must be accompanied by a comprehensive site analysis, urban context and design analysis report addressing the following matters, as appropriate, to the satisfaction of the Responsible Authority:
  - the form, massing, profile, material finishes and detailed design of the proposed building.
  - an assessment of any existing buildings on the site of heritage, architectural or cultural significance.
  - an assessment of off-site impacts of the proposed building. This includes overshadowing and / or overlooking, in particular overshadowing of public spaces and / or key pedestrian streets. A shadow assessment shall be provided to demonstrate that any solar access objectives for the precinct will be met.
  - justification for the proposed street-wall height, overall height and proposed setbacks of the upper levels from the street frontage.
  - impacts of the proposed building on views to and from the site, and any view line identified for protection within the activity centre.
  - details of the overall site yield / floor space and an assessment of the effects on services, traffic generation and parking demand.
  - an assessment of access to and circulation through / around the site for pedestrians, cyclists and vehicles.
  - details of land use, including an assessment of how the proposed building engages with and contributes to the activity of the street.
  - how the proposed buildings and works achieve:
    - the Design Objectives and General Requirements of this Schedule.
    - specifically how the Preferred Character Statement, Design Objectives and Requirements for the relevant area.
- New residential development should provide for acoustic protection for future residents and should be accompanied by a report prepared by a suitably qualified acoustic specialist outlining appropriate measures to provide such protection.

**5.0**10/05/2012  
C80**Decision guidelines**

In addition to the requirements of Clause 43.02-5, before deciding on an application the responsible authority must consider, as appropriate:

- The Design Objectives at 1.0.
- Whether the proposed buildings or works will result in development that is in keeping with the Preferred Character Statement for the relevant area.
- Whether the proposed buildings or works are compatible with the Design Objectives for the relevant area.
- Whether the proposed buildings or works are in accordance with the General Requirements of this Schedule and the Requirements of the relevant area.

**References**

Carlisle Street Urban Design Framework (David Lock Associates and City of Port Phillip, 2009)

Carlisle Street Activity Centre Structure Plan (City of Port Phillip, 2009)

City of Port Phillip Urban Iconography Study (City of Port Phillip, 2004)

City of Port Phillip Neighbourhood Character Policy Map (City of Port Phillip) which is an Incorporated Document in this scheme

### **Table to Schedule 21**

Design objectives and requirements for each precinct / site are additional to the Design Objectives outlined in Clause 1.0 and the General Requirements outlined in Clause 3.0. They must be read and applied in conjunction with Clauses 1.0 and 3.0.

#### **Area DDO 21-1 Carlisle Street West Precinct**

### **Preferred Character**

- A pedestrian environment with activated frontages that supports this precinct as an extension of the vibrant and active shopping strip to the east of Chapel Street.
- A high quality public realm and enhanced public spaces which support its role as the centre's 'civic node' and community services destination.
- The dominance of civic / community buildings, in particular the St Kilda Town Hall and Library.
- A legible single storey built form on the northern side of Carlisle Street.

### **Design Objectives**

- To ensure the visual prominence of the St Kilda Town Hall is maintained.
- To ensure that future development on the north-east corner of St Kilda Road and Carlisle Street reflects its important location at a key point of entry into the activity centre.
- To protect and enhance the open space fronting the St Kilda Town Hall as the primary green space of the activity centre.
- To develop the St Kilda Town Hall public plaza (facing Carlisle Street) and the Library forecourt as key open space areas in the activity centre.
- To enhance the pedestrian experience of this part of Carlisle Street, as an extension of the centre's principal pedestrian spine.
- To ensure new development maintains the predominant low rise character on the northern side of Carlisle Street.
- To ensure that new development above the street-wall is legible as a separate and visually recessive built form element.
- To ensure that larger sites express the 'fine urban grain' of their surroundings.

### **Requirements**

- The street-wall parapet height must be no greater than 6 metres; this is equivalent to the prevailing height of existing facades along the northern side Carlisle Street.
- Buildings should not exceed a preferred maximum height of 10 metres (3 storeys).
- Above the street-wall additional storey(s) must be set back 10 metres so as to be viewed as separate form.
- The street-wall must have a veranda for the full width of the frontage. This veranda should match those of neighbouring properties in terms of height above and coverage of the footpath.

- The street-wall should have vertical articulation and window proportions and locations that reflect those of the neighbouring buildings both above and below the veranda line.
- The street-wall must have a parapet. The parapet should be well articulated and contain detail consistent with the character of Carlisle Street.
- Architectural features above the existing parapet are encouraged on the corner of Chapel and Carlisle Streets and Carlisle Street and St Kilda Road, provided they are integrated with the design of the building.
- The ground floor should be level with the footpath.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.

### Area DDO 21-2 Carlisle Street Core Retail and Eastern Precinct

#### **Preferred Character**

- A vibrant, traditional shopping strip which includes a diverse mix of uses, with a focus on core retailing at the street frontage.
- A consistent built form that retains the heritage scale of Carlisle Street.
- A key pedestrian thoroughfare that is safe, comfortable and attractive.
- Traditional heritage shop-fronts contrasted by contemporary design.
- Unique building features, public art and signage in new development and public realm improvements which strengthen the identity of the strip.

#### **Design Objectives**

- To protect and enhance the built form character typical of a 19th century strip shopping centre.
- To maintain visual consistency and a sense of streetscape enclosure.
- To ensure that new development is designed to complement the heritage scale of Carlisle Street and is not dominant in the streetscape.
- To ensure new development contributes to the eclectic mix of building types within Carlisle Street.
- To enhance the pedestrian experience of Carlisle Street as the principal pedestrian spine of the activity centre.
- To emphasise corner sites through built form and street level activity.
- To ensure that larger sites express the 'fine urban grain' of their surroundings.
- To ensure new development maintains year round solar access to the southern footpaths of Carlisle Street.
- To minimise the impact of new development on the solar access of residential properties to the south.

#### **Requirements**

- The street-wall parapet must be a minimum of 7 metres to a maximum of 8 metres in height; this is equivalent to the height of existing two storey facades in Carlisle Street.

- Buildings should not exceed a preferred maximum height of 13 metres (4 storeys) on the northern side of Carlisle Street and 10 metres (3 storeys) on the southern side, except for the property on the corner of Carlisle Street and Carlisle Avenue which should not exceed a preferred maximum height of 13 metres.
- Above the street-wall, additional storeys must be set back so as not to be visible when viewed from standing eye level (1.6m) at the street frontage directly across the street.
- The above setback also applies to the side street boundary on corner lots, except in Camden Street where the third storey may come to the street-wall and a fourth storey must be set back 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper level renders it distinctly different and visually recessive through variations in form, material, openings or colour.
- A maximum of 8 metres (equivalent of 2 storeys) change in height is allowed within 5 metres of an abutment to existing building.
- The street-wall must have a veranda for the full width of the frontage. This veranda should match those of neighbouring properties in terms of height above and coverage of the footpath.
- The street-wall should have vertical articulation and window proportions and locations that reflect those of the neighbouring buildings both above and below the veranda line.
- The street-wall must have a parapet. The parapet should be well articulated and contain detail consistent with the character of Carlisle Street.
- Architectural features above 13 metres in height are encouraged on the corner of Chapel and Carlisle Streets and Carlisle Street and Carlisle Avenue, provided they are integrated with the design of the building.
- The ground floor should be level with the footpath.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.

#### Area DDO 21-3 St Kilda Road Business Precinct

#### Preferred Character

- A built form that supports a mixture of uses, including offices and display based commercial uses at street level, with potential for residential apartments at upper levels.
- A high standard of design in new and refurbished buildings and the public realm, with emphasis on built form that provides a sense of street enclosure and protection from the elements for pedestrians.

#### Design Objectives

- To promote design excellence in new development, appropriate to this high profile edge to the Carlisle Street Activity Centre.
- To ensure new development contributes to a more coherent edge to St Kilda Road.
- To ensure new development respects the heritage character of the former St Kilda Post Office and the heritage streetscape of St Kilda Road between Inkerman and Pakington Streets.
- To enhance the amenity, human scale and experience of St Kilda Road as a pedestrian movement corridor.
- To encourage ground floor design that contributes to interaction with streetscape activity and balconies or terraces at the upper levels that overlook the street.



- To ensure residential development is designed to minimise the impacts of noise from other uses on residents.

### Requirements

- The street-wall parapet height must be no more than 10 metres in height; this will allow three storeys of development.
- Buildings should not exceed a preferred maximum height of 13 metres (4 storeys).
- Above the street-wall an additional storey must be set back 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper level renders it distinctly different and visually recessive through variations in form, material, openings or colour.
- The above setback also applies to the side street boundary on corner lots.
- The street-wall must have a veranda for the full width of the frontage. This veranda should match those of neighbouring properties in terms of height above and coverage of the footpath.
- The street-wall must have a parapet. The parapet should be well articulated and contain detail consistent with the character of St Kilda Road.
- Architectural features above 13 metres in height are appropriate on corner sites provided they are integrated with the design of the building.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.
- Vehicular access must be provided from the rear or side of lots.

### Area DDO 21-4 Inkerman / Pakington Streets Mixed Use Precinct

#### Preferred Character

- A more intensive built form that supports a mixture of uses, including an increasing proportion of residential apartments and the potential for commercial uses at street level.
- A vibrant, safe and attractive pedestrian environment with buildings actively fronting the street.
- Retention of the open bluestone canal (main drain) parallel to Pakington and Martin Streets.
- New development that draws on its industrial past to develop a unique contemporary style that maintains strands of the existing 'hard edged' industrial character.
- Built form of a height and bulk that maintains a human scale and responds to the confined street spaces of Martin and Duke Streets, and the more open street spaces of Pakington and Inkerman Streets.

#### Design Objectives

- To foster a new and distinct contemporary urban character that complements and reflects the traditional industrial feel of this precinct.
- To ensure that development enhances the prominent corner of Inkerman Street and St Kilda Road as a gateway to the activity centre.

- To encourage the re-use of existing buildings / facades where these contribute to the preferred character of the area.
- To ensure that the scale of new development reinforces the specific character of individual streets.
- To ensure that new development maintains adequate solar access to footpaths and a sense of openness to the sky.
- To reduce the visual dominance of levels above the street-wall.
- To encourage the ground floor of new development to address both east-west streets and north-south pedestrian links with active frontages.
- To minimise the visual dominance of vehicular access and on-site parking.
- To ensure that large or consolidated sites reduce the impact of their visual bulk on neighbouring properties.
- To create a transition down in the intensity of built form where sites adjoin established low-rise 'fine grain' residential areas to the east.
- To ensure development minimises the impact of visual bulk when viewed from Lynott Street, the Pakington Street open space reserve, and residential properties to the east.

### **Requirements**

- Buildings may have a zero setback to the street frontage or be stepped back up to 5 metres provided that the resultant space is not used for car parking or loading.
- The street-wall height along Inkerman and Pakington Streets must be no more than 11 metres in height; this will allow up to three storeys of development.
- The street-wall height along Martin and Duke Streets must be no more than 8 metres in height; this will allow two storeys of development.
- Buildings fronting Inkerman Street should not exceed a preferred maximum height of 17 metres (5 storeys).
- Above the street-wall in Inkerman Street any additional storey must be set back 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper level renders it distinctly different and visually recessive through variations in form, material, openings or colour.
- Buildings fronting Pakington, Martin and Duke Streets should not exceed a preferred maximum height of 14 metres (4 storeys).
- Above the street-wall in Pakington Street any additional storey must be set back 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper level renders it distinctly different and visually recessive through variations in form, material, openings or colour.
- Above the street-wall in Martin and Duke Streets, one storey may be visible provided that it is set back at least 3 metres. Any additional storey must be set back so as not to be visible when viewed from standing eye level (1.6m) at the street frontage directly across the street.
- Any development of No. 44 Pakington Street must address both its street and laneway frontage with doors and street level windows.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.
- The architecture of the building should draw on the precinct's industrial past to develop a unique and contemporary style.

- On-site parking should be provided behind, below or above uses on the ground floor that front the street.

### Area DDO 21-5 Chapel Street Mixed- Use Precinct

#### Preferred Character

- A more intensive built form that supports an increase in residential activity and the potential for commercial uses at street level.
- A vibrant, safe and attractive pedestrian environment with buildings actively fronting the street.
- New contemporary development that maintains strands of the existing 'hard edged' industrial character.
- Built form that responds, and provides an appropriate transition, to the residential properties to the east and Carlisle Street to the north.

#### Design Objectives

- To promote design excellence in new development, appropriate to this high profile location within the Carlisle Street Activity Centre.
- To establish a new and distinct built form character that reflects the former industrial nature of this precinct.
- To realise the development potential of larger sites, whilst maintaining a relationship with the existing building scale within the activity centre.
- To capitalise on the outlook to open space on the western side of Chapel Street.
- To ensure new development contributes to a more coherent edge to Chapel Street.
- To enhance the pedestrian experience along Chapel Street as a principal walking route.
- To encourage the re-use of existing buildings / facades where these contribute to the preferred character of the area.
- To emphasise corner sites through built form and street level activity.
- To create a transition down in the intensity of built form to adjoining established low-rise 'fine grain' residential areas to the east and Carlisle Street to the north.

#### Requirements

- The street-wall parapet height along Chapel Street must be no more than 11 metres in height; this will allow three storeys of development.
- Buildings should not exceed a preferred maximum height of 16 metres (5 storeys).
- Above the street-wall any additional storey must be set back 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper levels renders them distinctly different and visually recessive through variations in forms, materials, openings and colours.
- The street-wall should have a veranda for the full width of the frontage unless this is inconsistent with an original facade that is being retained.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.

### Area DDO 21-6 Chapel Street North Precinct

### **Preferred Character**

- A more intensive built form that supports an increase in commercial and residential activity, with the continuation of commercial or retail uses at street level.
- Retention of heritage buildings and a high standard of design in new contemporary development appropriate to mark the entry point to the activity centre.
- Built form of a height and bulk that maintains a human scale and responds to the predominant scale of existing development.
- A vibrant, safe and attractive pedestrian environment with buildings actively fronting the street.
- Built form that responds, and provides an appropriate transition, to the residential properties situated to the north and west.

### **Design Objectives**

- To promote design excellence in new development, appropriate to this high profile location within the Carlisle Street Activity Centre.
- To ensure new development contributes to a more coherent edge to Chapel Street.
- To realise the development potential within the precinct, whilst respecting heritage buildings and the existing building scale along Carlisle Street.
- To enhance the pedestrian experience along Chapel Street as a principal walking route.
- To emphasise the corner site through built form and street level activity.
- To create a transition down in the intensity of built form to the adjoining low-rise 'fine grain' residential areas to the west and north, and Carlisle Street to the south.

### **Requirements**

- The street-wall parapet height must be no more than 11 metres in height; this will allow three storeys of development.
- Buildings should not exceed a preferred maximum height of 16 metres (5 storeys).
- Above the street-wall any additional storey must be set back 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres along Chapel Street, if the architecture of the upper levels renders them distinctly different and visually recessive through variations in forms, materials, openings and colours.
- The above setback also applies to the side street boundary on the corner lot.
- The street-wall on Chapel Street should have a veranda for the full width of the frontage, unless inconsistent with an original façade that is being retained.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.
- Vehicular access must be provided from the rear or side of lots.

### **Area DDO 21-8 Supermarkets Precinct**

### **Preferred Character**

- A vibrant retail hub dominated by the two renewed supermarkets, which support the retail role of the activity centre and act as key 'anchors' attracting visitors to the centre.

- A built form that supports a mixture of uses, including retailing at street level and commercial / office uses and residential apartments at upper levels.
- A built form that responds to the opportunities offered by the large supermarket sites whilst respecting the adjoining 'fine grain' residential areas and heritage scale of the Carlisle Street retail strip.
- Well designed new buildings and a public realm which create a safe and attractive pedestrian environment.
- Reinstatement of the laneways to the rear of the Carlisle Street shops to contribute to the permeability and walkability of the activity centre.

### **Design Objectives**

- To realise the development potential of these key retail sites (supermarkets and car parks).
- To ensure that development retains the sense of openness to the sky and preserves the lower rise character of the centre as viewed from the public realm.
- To ensure that the scale and form of new development respects the heritage elements on Carlisle Street.
- To create overall visual consistency and a greater sense of streetscape enclosure in Camden and Nelson Streets.
- To improve the interface with the residential properties on the north side of Alfred Street.
- To ensure that new development contributes to improved pedestrian permeability within the precinct, and integration of the precinct through to Carlisle Street.
- To enhance the pedestrian experience of Camden Street as an important pedestrian thoroughfare with continuous retail frontages and a clearly defined public realm.
- To ensure that development does not unreasonably impact on solar access to the footpaths of Camden Street.
- To encourage the design of new development to incorporate public open space with good solar access and adjoining active land uses.
- To discourage loading bays which face public spaces and streets.
- To reduce the dominance of vehicular movement throughout the precinct.

### **Requirements**

Alfred Street frontage:

- Buildings may have a zero setback to the street frontage or allow a proportion of the frontage to be stepped back so long as the resultant space is used for active pedestrian uses and/or to preserve existing vegetation.
- The street-wall parapet height must be a maximum of no more than 8 metres (2 Storeys).
- Buildings should not exceed a height of 17 metres (5 storeys).
- Above the street-wall one additional storey must be set back 3 metres with additional storeys set back so as not to be visible when viewed from standing eye level (1.6m) at the street frontage directly across the street. The street-wall should have a veranda for the full width of the frontage.

Camden and Nelson Street frontages:

- Buildings may have a zero setback to the street frontage or allow a proportion of the frontage to be stepped back so long as the resultant space is used for active pedestrian uses and/or to preserve existing vegetation.
- The street-wall parapet height may be a maximum of 11 metres (3 Storeys).
- Buildings should not exceed a preferred maximum height of 17 metres (5 storeys).
- Above the street-wall any additional storey must be set back 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper level renders it distinctly different and visually recessive through variations in form, material, openings or colour.

Overall guidelines:

- The building fronting Alfred Street should be well modulated and articulated to minimise its visual bulk when viewed from Linton Street to the north.
- The street-wall should have a veranda for the full width of the frontage. This veranda should match those of neighbouring properties in terms of height above and coverage of the footpath.
- The street-wall should have vertical articulation and window proportions and locations that reflect those of the neighbouring buildings both above and below the veranda line.
- The street-wall must have a parapet. The parapet should be well articulated and contain detailed consistent with the character of Carlisle Street.
- The ground floor should be level with the footpath.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.
- Vehicular access to the car park areas must be provided from Nelson and / or Camden Streets, south of Alfred Street.

*Note: the following frontage has different guidelines to those detailed in this precinct:*

- For the Carlisle Street frontage of the Safeway Supermarket Site refer to the Carlisle Street Core Retail and Eastern Precinct guidelines. All other frontages should refer to guidelines in this precinct.

#### Area DDO 21-11 Marlborough Street Car Park Site

### Preferred Character

Note: In the short to medium term this site is intended to be retained as an at grade car park. In the longer term, new development will achieve:

- Appropriately scaled residential development which addresses the Marlborough Street frontage.
- Reinstatement of the laneway to the rear of the Carlisle Street shops to contribute to the permeability and walkability of the activity centre.
- Additional retail / commercial floor space integrated with the established retail premises along Carlisle Street.

### Design Objectives

- To provide for additional dwellings on the edge of the Carlisle Street activity centre.
- To ensure development reflects the surrounding residential character of Marlborough Street.

- To encourage a higher built form adjacent to the rear laneway and the Chapel Street mixed use precinct, recognising that these interface areas have the potential to accommodate a more intensive built form.
- To provide a transition down in the intensity of built form to the low-rise 'fine grain' residential areas to the south and east.
- To improve the interface with the rear laneway.

### Requirements

- New development on the Marlborough Street frontage should have a maximum setback of between 3 to 4 metres configured as useable private open space.
- Buildings should not exceed a preferred maximum height of 13 metres (4 storeys).
- Buildings must be no more than 8 metres high within 5 metres of the boundary.
- Above the Marlborough Street facade one additional storey may be visible provided that it is set back at least 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper levels renders them distinctly different and visually recessive through variations in forms, materials, openings or colours.
- Any further storey/s must be set back so as not to be visible when viewed from standing eye level (1.6m) at the street frontage directly across the street.
- The facade should have vertical articulation and window proportions and locations that reflect those of the neighbouring buildings.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.
- Vehicular access should not dominate the Marlborough Street frontage and must be integrated with the design of the facade.

### Area DDO 21-12 Balaclava Station Car Park Site

#### Preferred Character

- Higher-scale housing development to addresses the elevated station / rail line, transitioning down in height and bulk where the site interfaces with existing dwellings.
- Active commercial frontages along the walkway adjoining the station.
- Setback from the station walkway to achieve an informal public space and opportunity for landscaping.
- Design of upper levels to provide natural surveillance of the station environs.

#### Design Objectives

- To provide for additional dwellings at the edge of the Carlisle Street activity centre.
- To integrate the design of new development with the upgrade of Balaclava Station to create a safe and attractive pedestrian environment.
- To create a public space adjacent to Balaclava Station that encourages social interaction and contributes to an improved connection along the western walkway to the station.
- To ensure development fronting Marlborough Street responds to the residential character and scale of Marlborough Street.

- To encourage a higher built form adjacent to Balaclava Station and the rear laneway, recognising these interface areas have the potential to accommodate a more intensive built form.
- To provide a transition down in the intensity of built form to the low-rise 'fine grain' residential areas to the south and west.
- To encourage ground floor design that contributes to interaction with streetscape activity and balconies or terraces at the upper levels that overlook the street, rear laneway and Balaclava Station / Balaclava Walk.
- To improve the interface with the rear laneway.

### Requirements

- New development on the Marlborough Street frontage must have a setback consistent with neighbouring properties (minimum 3 metres).
- New development must be set back a minimum of 4 metres from the eastern boundary to allow the creation of an active pedestrian space and pedestrian link adjacent to Balaclava Station.
- The facade should have vertical articulation and window proportions and locations that reflect those of the neighbouring buildings.
- Buildings should not exceed a preferred maximum height of 13 metres (4 storeys).
- Buildings must be no more than 8 metres high within 5 metres of the boundary.
- Above the Marlborough Street facade one additional storey may be visible provided that it is set back at least 5 metres so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper levels renders them distinctly different and visually recessive through variations in forms, materials, openings or colours.
- Any further storeys must be set back so as not to be visible when viewed from standing eye level (1.6m) at the street frontage directly across the street.
- The development must address both Marlborough Street and Balaclava Walk frontages with doors and street level windows.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.
- Vehicular access should be provided from the rear laneway to the north where possible.

### Area DDO 21-13 St Kilda Parish Mission Site

#### Preferred Character

- New high quality development which reinforces this important street corner within the activity centre.
- Active retail edges along Carlisle Street to strengthen the relationship between the Civic Node (Town Hall / Library) and Carlisle Street retail strip.
- New development that respects the heritage values of the corner and adjacent Uniting Church Hall.

#### Design Objectives



- To maintain, and extend the opportunity for, the accommodation of a range of community services and facilities.
- To ensure the built form and massing of new development reinforces the site as a street corner and as an important entry point into the retail core of the activity centre.
- To ensure the siting and scale of new development reflects the future character of the Carlisle Street retail strip, through a prominent street-wall and recessed upper level.
- To ensure new development respects the heritage values, including siting (front and side setbacks), of the adjacent Uniting Church building.

### **Requirements**

- Buildings must have a zero setback to Carlisle and Chapel Streets.
- The street-wall parapet height must be a minimum of 7 metres and a maximum of 8 metres, which is equivalent to the height of existing two storey facades in Carlisle Street.
- Buildings should not exceed a preferred maximum height of 10 metres (3 storeys).
- Above the street-wall, any additional storey must be setback so as not to be visible when viewed from standing eye level (1.6 metres) at the street frontage directly opposite.
- The facade should be well articulated in form, material, opening, colour and have vertical articulation, window proportions and locations, and awnings that reflect those of the other buildings on the corners of Carlisle and Chapel Streets and reinforce the fine grain character of Carlisle Street.
- Buildings should not be sited any closer to the Uniting Church than the existing southern wall of the hall at 161 Chapel Street.
- The facade should be designed to facilitate contact between building occupants and the public realm and should exhibit transparency to support passive surveillance.
- The facade on Carlisle Street must be designed to provide an active retail frontage to the street.
- The ground floor should be level with the footpath.
- Vehicular access should be provided from Carlisle Street.

### **Area DDO 21-14 Australia Post Delivery Centre Site**

#### **Preferred Character**

- A well designed higher scale residential / mixed use development which contributes to the sites' role as a key entry point to the CSMAC.
- Potential for commercial use or display based retailing at ground level (subject to rezoning).

#### **Design Objectives**

- To ensure that new development reflects and emphasises the importance of the site as a key point of entry into the activity centre.
- To emphasise the corner site through a hard-edged built form to Brighton Road.
- To reduce the visual dominance of levels above the street-wall.

- To create a transition down in the intensity of built form to the ‘fine-grain’ residential areas to the east.

### **Requirements**

- Development should have a zero setback to the street frontage.
- The street-wall parapet height along Chapel Street, Brighton Road and Grosvenor Street must be no more than 11 metres in height; this will allow three storeys of development.
- The street-wall should have a veranda for the full width of the frontage.
- Development should not exceed a preferred maximum height of 16 metres (5 storeys).
- Above the street-wall any additional storey must be set back 5 metres from the property line so as to be visually recessive. This setback may be reduced by up to 2 metres if the architecture of the upper levels renders them distinctly different and visually recessive through variations in forms, materials, openings and colours.
- This setback may be further reduced to zero on the Brighton Road frontage if it contributes to the identification of the corner as an important entry point to the centre.
- Additional height/architectural feature (maximum one storey) above 16 metres is encouraged on the Brighton Road corner of the site provided it is integrated with the design of the building and contributes to the identification of the corner as an important entry point to the centre. The floor area of this feature should not exceed 10% of the gross floor area of the top building level.
- The ground floor facade should be designed to facilitate contact between building occupants and people in the street. It should include pedestrian entries and clear glazing.
- The facade of the ground floor should be well articulated through variations in forms, materials, openings and colours and the inclusion of vertical design elements to enhance the pedestrian experience.

### **Incorporated Document**

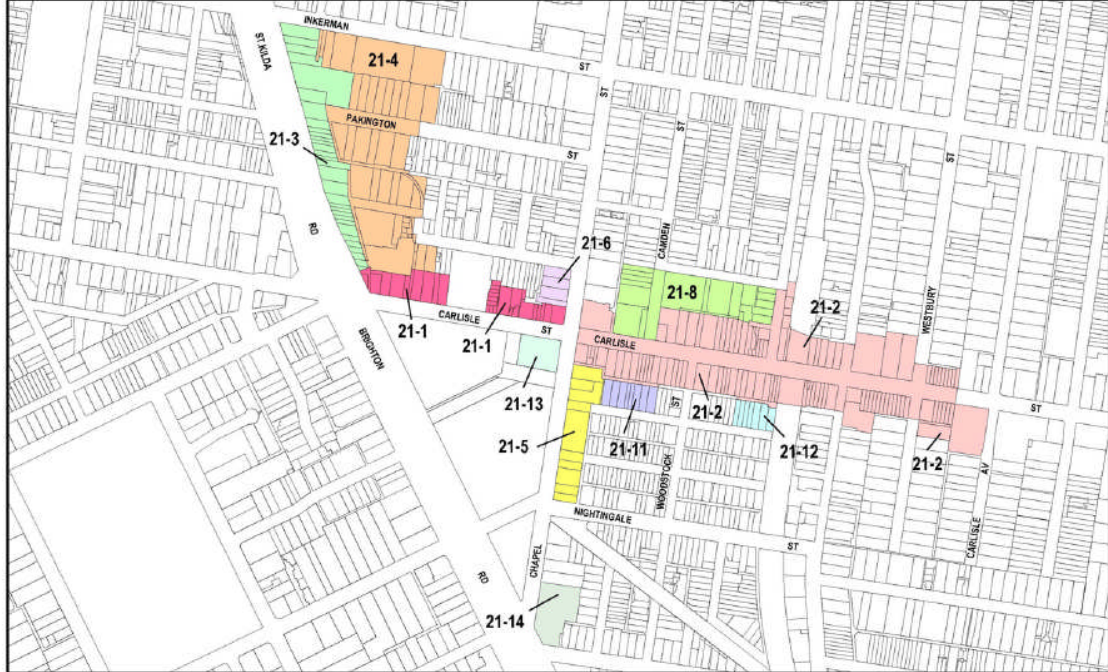
Port Phillip Heritage Review, Version 15 (2011) Volume 1-6

### **Reference Documents**

Carlisle Street Activity Centre Structure Plan (City of Port Phillip, 2009)

Carlisle Street Urban Design Framework (City of Port Phillip and David Lock Associates, 2009)

## PORT PHILLIP PLANNING SCHEME SCHEDULE TO DDO21



### LEGEND

- 21-1 Schedule 21-1: Carlisle Street West Precinct
- 21-2 Schedule 21-2: Carlisle Street Core Retail and Eastern Precinct
- 21-3 Schedule 21-3: St Kilda Road Business Precinct
- 21-4 Schedule 21-4: Inkerman /Pakington Streets Mixed-Use Precinct
- 21-5 Schedule 21-5: Chapel Street Mixed-Use Precinct
- 21-6 Schedule 21-6: Chapel Street North Precinct
- 21-8 Schedule 21-8: Supermarkets Precinct
- 21-11 Schedule 21-11: Marlborough Street Car Park Site
- 21-12 Schedule 21-12: Balaclava Station Car Park Site
- 21-13 Schedule 21-13: St Kilda Parish Mission Site
- 21-14 Schedule 21-14: Australia Post Delivery Centre Site

