

21.02 SETTLEMENT, HOUSING AND RESIDENTIAL DEVELOPMENT

11/05/2017
C27

This Clause provides local content to support Clause 11 (Settlement) and Clause 16 (Housing) of the State Planning Policy Framework.

21.02-1 Settlement

11/05/2017
C27

The townships of Queenscliff and Point Lonsdale form the Borough's urban area, which is predominately residential.

The Borough's physical size and its environmental assets and constraints limit the capacity for growth. The urban areas of the townships comprise the extent of developable land.

The opportunity for new development is limited to some infill development and redevelopment, which must be sensitive to the Borough's valued heritage and urban character.

Key Issues

- An ageing population and a decline in household size are correlating with a decrease in the permanent population. A stable population is required to sustain the current level of infrastructure and community services.
- The impact of new development needs to be managed to maintain liveability, amenity, heritage and character.
- The Point Lonsdale Structure Plan provides for an expansion of the township within the City of Greater Geelong. This will impact upon the structure of the township, and the demand for services.

Objective 1

- To maintain a stable permanent residential population.

Strategies

- Encourage innovative housing solutions and designs that accommodate smaller households, whilst respecting the established urban and heritage character.

Objective 2

- To avoid inappropriate development that compromises areas of acknowledged natural, aesthetic, built, cultural or environmental sensitivity.

Strategies

- Contain development within existing urban areas.
- Avoid the adverse impacts of new use and development proposals on environmental, heritage and urban character values.

Implementation

These strategies will be implemented by:

Policy Guidelines

- Applying Clause 22.02 (Heritage Policy) in considering all applications under the Heritage Overlay.
- Applying Clause 22.03 (Urban Character) in considering applications that trigger a Planning Permit.

Zones and Overlays

- Retain the rural and public recreation zones around the Settlement Boundary of Point Lonsdale.

21.02-2

11/05/2017
C27

Activity Centres

Overview

The townships of Queenscliff and Point Lonsdale are each served by traditional town centres. Queenscliff is the larger of the two, with a more developed commercial sector. It also contains the municipal offices.

While convenience goods and services are located at the core of both centres, each centre also contains drink and food premises, restaurants, visitor services and speciality shops that have developed in response to local and visitor demand.

The centres each display distinct characteristics. The Queenscliff activity centre occupies a number of town blocks and is characterised by Victorian and early twentieth century architecture. The Point Lonsdale activity centre is confined to a row of contemporary buildings.

Outside the Borough, Ocean Grove, Newcomb, Geelong and Melbourne provide higher order goods and services.

Key Issues

- Maintaining the scale and vitality of both the Queenscliff and Point Lonsdale activity centres.

Objective 1

- To maintain, enhance and diversify the role the Borough's activity centres.

Strategies

- Avoid new commercial development in adjoining residential neighbourhoods, other than in areas designated for tourist accommodation or for neighbourhood retail centres.
- Support commercial use of the existing residential terrace development in the centre of the Point Lonsdale activity centre.
- Protect and develop the Queenscliff town centre as the focus for cultural, administrative, and tourism functions, and other community services and facilities.

Objective 2

- To respect and enhance the character, ambiance and vitality of the activity centres.

Strategies

- Facilitate the appropriate development of new retail and commercial enterprises in the Queenscliff and Point Lonsdale activity centres.
- Facilitate enhanced public spaces and the pedestrian environment within commercial areas, consistent with their identified character.
- Reinforce the distinct and separate characters of Hesse Street (as a main street) and of the marina.

Implementation

These strategies will be implemented by:

Policy Guidelines

- Applying Clause 22.02 (Heritage Policy) in considering all applications under the Heritage Overlay.
- Applying Clause 22.03 (Urban Character) in considering applications that trigger a Planning Permit.

21.02-3

11/05/2017
C27

Queenscliff

Queenscliff was developed primarily in the late 1800s as a fishing town and resort . The amenity provided by the natural setting and heritage characteristics of the town is valued by both residents and visitors.

Queenscliff's heritage is strongly reflected in the streetscapes, residential areas and town centre. In addition to the town itself, Queenscliff contains a number of tourist attractions, including the Queenscliff Harbour and Fort Queenscliff.

The Queenscliff Harbour provides tourism and recreation facilities, and a ferry connection to Sorrento.

The township provides a range of tourism accommodation.

Key Issues

- Retaining Queenscliff's distinct heritage character.

Objective

- To reinforce the distinctive identity of Queenscliff - its heritage values, urban character and natural coastal setting.

Strategies

- Reinforce the residential character of areas outside the existing activity centre.
- Provide for sensitive redevelopment and infill development that responds to Queenscliff's urban and heritage characteristics.

Implementation

These strategies will be implemented by:

Policy Guidelines

- Applying Clause 22.02 (Heritage Policy) in considering all applications under the Heritage Overlay.
- Applying Clause 22.03 (Urban Character) in considering applications that trigger a Planning Permit.

Future Strategic Work

Prepare a Queenscliff Structure Plan, addressing issues of land use and development density, built form and siting directions, movement networks and linkages, and the enhancement of the public realm. The plan should address the role and function, and use and development of public land.

Prepare an updated Queenscliffe Heritage Study to identify, assess and document places of heritage significance within the Borough and to make recommendations for their future conservation.

21.02-4

11/05/2017
C27

Point Lonsdale

The township of Point Lonsdale straddles the municipal boundary.

Within the Borough, the township principally comprises established residential properties on lots with relatively low site coverage and an informality respectful of the coastal setting and lifestyle enjoyed by residents.

The opportunities for residential growth, additional services and tourist facilities and services exist on land to the west of Fellows Road within the City of Greater Geelong.

Point Lonsdale Structure Plan

The Point Lonsdale Structure Plan has been prepared in conjunction with the City of Greater Geelong to guide the future use and development of the township. The structure plan map illustrates the key land use components and provides a focus for development in Point Lonsdale (refer to the Point Lonsdale Structure Plan – Map 2).

Key Issues

- Maintaining the coastal village character of the township, including green vistas, vegetated character and unspoilt coastal views.

Objective

- To reinforce the coastal village character of Point Lonsdale by maintaining a compact urban form, and protecting the surrounding rural landscape and setting of the township.

Strategies

- Provide for use and development consistent with the Point Lonsdale Structure Plan and as shown on the Point Lonsdale Structure Plan - Map 2.
- Require that urban development does not occur outside the Point Lonsdale Settlement Boundary as shown on the Point Lonsdale Structure Plan - Map 2.
- Facilitate appropriate infill residential development in Point Lonsdale that reflects the coastal village character of the township.

Implementation

These strategies will be implemented by:

Policy Guidelines

- Applying Clause 22.02 (Heritage Policy) in considering all applications under the Heritage Overlay.
- Applying Clause 22.03 (Urban Character) in considering applications that trigger a Planning Permit.

21.02-5

11/05/2017
C27

Housing and Residential Development

The Borough provides an attractive and sought-after living environment accommodating permanent and occasional residents. These different groups have a diverse range of requirements.

The majority of housing in the Borough is in the form of single detached houses on medium sized lots. There are few medium density housing developments.

Key Issues

- Maintaining the liveability, amenity and character of residential areas, and ensuring that new development does not adversely impact upon heritage and urban character.
- Protecting the rural character of the McDonald Road/Burnt Point area from further subdivision or more intensive residential development.
- The Borough is experiencing a decline in household size, with potential to create a demand for an increased number and greater diversity of dwellings in order to maintain the present population. A stable population is required to sustain the current level of infrastructure and community services.
- Preserving the natural environment and minimising the off-site environmental effects of new housing.

Objective 1

- To protect the character and appearance of residential areas that are of heritage significance and/or have urban character value.

Strategies

- Require housing design to have regard and respond to the predominant character of the area, including important heritage features/characteristics and key elements of urban character.
- Require that new residential development retains significant vegetation.
- Require that new residential development and redevelopment of existing dwellings achieves high quality design standards.

Objective 2

- To improve the range and diversity of housing options to meet the needs of residents, the temporary population and tourists.

Strategies

- Support increased housing diversity and density that complements existing built form and character, and does not compromise identified natural, built heritage, landscape and cultural values.

Objective 3

- To protect the foreshore environment from inappropriate residential development and subdivision.

Strategies

- Avoid the adverse impacts of residential developments on foreshore areas through the use of appropriate design standards.

Implementation

The strategies will be implemented by:

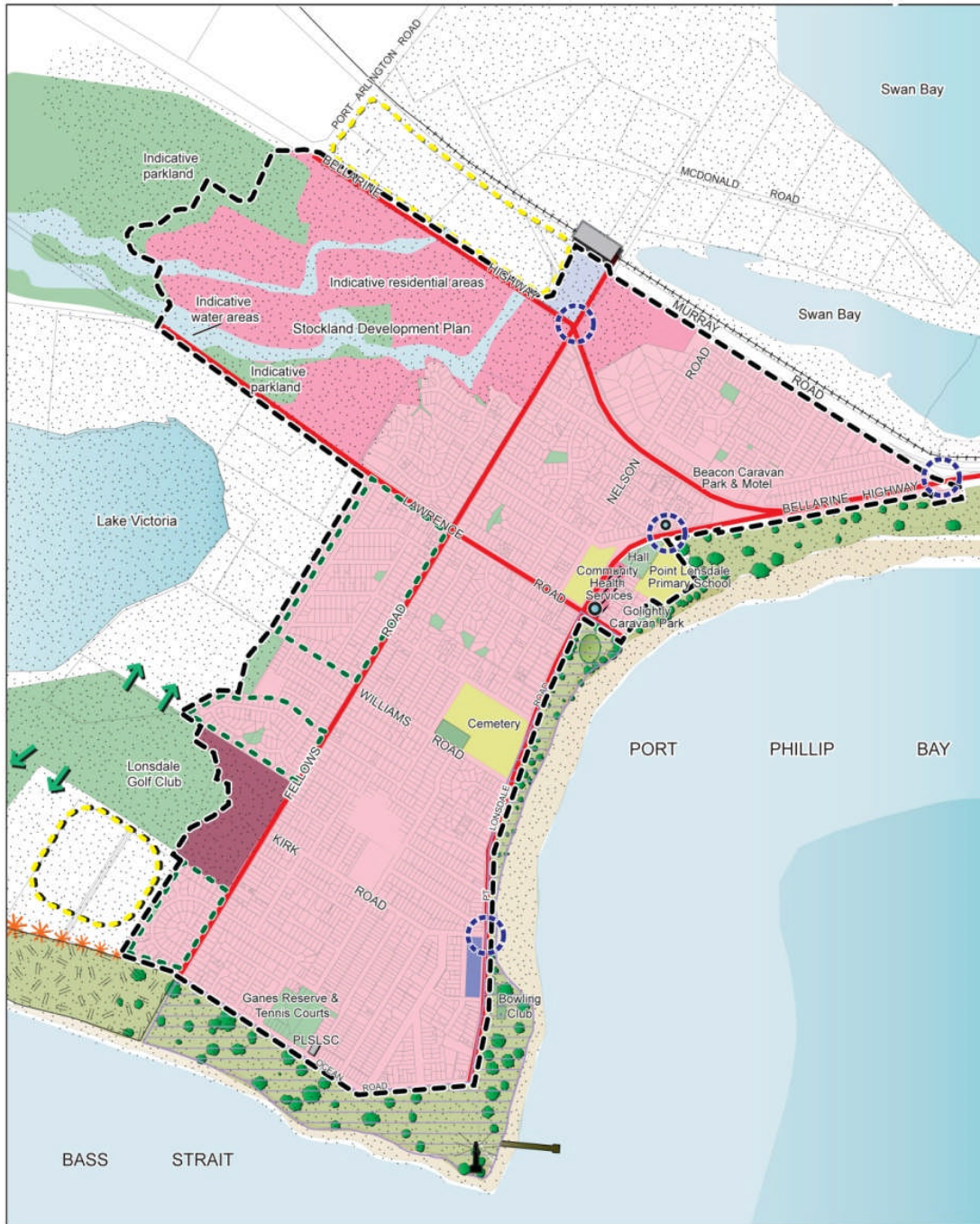
Policy Guidelines

- Applying Clause 22.02 (Heritage Policy) in considering all applications under the Heritage Overlay.
- Applying Clause 22.03 (Urban Character) in considering applications that trigger a Planning Permit.
- Applying the Victorian Coastal Council's *Siting and Design Guidelines for Structures on the Victorian Coast* (1998) when assessing residential developments within visual range of the foreshore.

Further Strategic Work

- Undertake a housing study to:
 - Determine the availability and capacity of land to provide for further residential development and infill.
 - Establish the housing needs of the forecast population and establish strategies for where projected housing needs and types, including the demand for medium density housing, can be satisfied;
 - Propose the most effective means of safeguarding urban character through the planning scheme.
- Review and identify areas in the Borough capable of accommodating medium density housing.

Map 2 – Point Lonsdale Structure Plan



Township Structure Plan

Legend					
	Existing public open space and golf course		Minimal change residential areas		Encourage revegetation to coastal dune edge
	Coastal dunes and vegetation		Residential growth areas		Significant entry points
	Community infrastructure		Potential residential growth area subject to an amendment and EES		Local shop
	Queenscliffe Coastal Management Plan Area		Rezoned for tourist accommodation / activity		Neighbourhood activity centre
	Buckley Park Management Plan Area		Land with environmental constraints		Proposed vegetation protection
	Railway line, possible new station and interchange/parking area		Primary pedestrian & cycle route		Opportunities for appropriately low scaled and designed tourism accommodation
	Point Lonsdale Settlement Boundary		Potential expansion of Golf Course subject to an amendment and EES		