

**22.03 URBAN CHARACTER POLICY**

11/05/2017  
C27

This policy applies to all planning applications in the Queenscliffe Character Management Areas, as shown on Map 1, 2 and 3, forming part of this clause.

**Policy Basis**

The Municipal Strategic Statement identifies the importance of urban character and the need to identify the distinctive qualities of Queenscliff and Point Lonsdale in order to ensure that new development maintains, enhances and harmonises with the prevailing character of the area.

This policy:

- Provides a local response to Clause 15, Built Environment and Heritage of the State Planning Policy Framework.
- Builds upon the Municipal Strategic Statement objectives in Clause 21.04-1 relating to urban character.
- Gives effect to the *Borough of Queenscliffe Urban Character Study* (2000) and the associated *Building Siting and Design Guidelines*.
- Provides policy context and guidance to the requirements of the Design and Development Overlays.

This policy is structured in three sections and addresses each of the Borough’s character management areas:

- Queenscliff Urban Heritage areas;
- Point Lonsdale Natural Coastal areas; and
- Foreshore areas.

**Objectives**

- To ensure all new development has regard to the siting and design objectives and guidelines of the *Borough of Queenscliffe Urban Character Study* (2000).

**Policy**

General

It is policy to:

- Identify the relevant urban character area.
- Retain and enhance the identified character elements that contribute to the character of the area.

**22.03-1 Queenscliff Urban Heritage Areas**

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This policy applies to all land in the Queenscliff Urban Heritage Areas, as shown on the Character Management Area Map 1. It includes the core Queenscliff Urban Heritage Area and the Queenscliff Urban Contributory Area.

Design and Development Overlay Schedule 1 (*Queenscliffe Urban Heritage Areas*) and Design and Development Overlay Schedule 6 (*Fisherman’s Flat and Environs*) applies to this Character Management Area.

## Policy

### Site Layout

It is policy that:

- The layout of new development has regard to visual impact upon the scale and proportion of the street and the townscape skyline.
- The layout of new development is consistent with the layout of development in the surrounding area, including the location and relationships to any existing buildings on the site or adjacent buildings.
- The layout of new buildings, paved areas, driveways, car parking, active outdoor living areas and landscape areas complement the site, having regard to its physical, historic and environmental features, and the location of buildings and other features on adjacent land.
- The layout of new development provides a high quality of living for its occupants and maintains an appropriate standard of amenity for the occupants of adjoining dwellings.
- The layout of buildings provides opportunity, where relevant, for frontage landscaped areas to be planted with vegetation that contributes to and reinforces the formality of the formal grid streetscape.
- New development should:
  - minimise the need for earthworks on the land;
  - provide north facing indoor and outdoor living areas where possible, to maximise solar access;
  - protect existing trees on the site which are visible or contribute to the streetscape;
  - provide for appropriate outdoor living areas, preferably integrated with indoor living areas with northern orientation;
  - provide for appropriate landscaping opportunities, shown on a landscape plan;
  - provide for front, side and rear boundary setbacks that respond appropriately to the streetscape and the location of buildings on adjoining allotments; and
  - consider and respond to sea or townscape views from the site or across the site from other properties, public places and roads.

### Building Design

It is policy that:

- New development respects and harmonises with the existing historic character of the streetscape and townscape (skyline) and is consistent with the traditional massing, scale and proportion of the built form, including the palate of materials and finishes and the array of building angles.
- The design of new development demonstrates regard for the features of the site, coastal conditions of the locality, sensitivities within the streetscape, and view corridors from streets, public spaces and surrounding properties.
- New development is designed to make efficient use of a site and applies environmentally sustainable design principles, without compromising the historic value of the streetscape.
- New development should:

- interpret traditional building designs, which include single and double frontages, pitched, hipped and gable roofs, vertical rectangular window openings and verandahs;
- use traditional building materials, including horizontal weatherboard cladding, rendered brickwork, corrugated iron or slate roofs, brick chimneys, timber verandahs, door and window joinery, and painted finishes;
- sympathetically complement the design, materials and form of other buildings in the streetscape and neighbourhood;
- retain the general uniformity in scale and massing of buildings within the street and avoid buildings which are visually dominant when viewed from public spaces due to height, bulk, colour, materials, scale or proportion;
- incorporate corrugated iron or slate pitched roofs in recessive or non reflective colours, verandahs which read as part of the roof form and match the scale, pitch and materials of the main roof form;
- reflect the traditional widths and proportion of adjoining buildings, including on sites with a greater width than adjoining properties;
- adopt building design techniques and use materials that reduce energy use and are responsive to coastal conditions; and
- provide for additions to the rear of buildings, which are of an appropriate style in relation to the existing building and do not exceed the prevailing building or ridge lines established by the main existing building on, and adjoining the site.

### **Building Heights and Setbacks**

It is policy that:

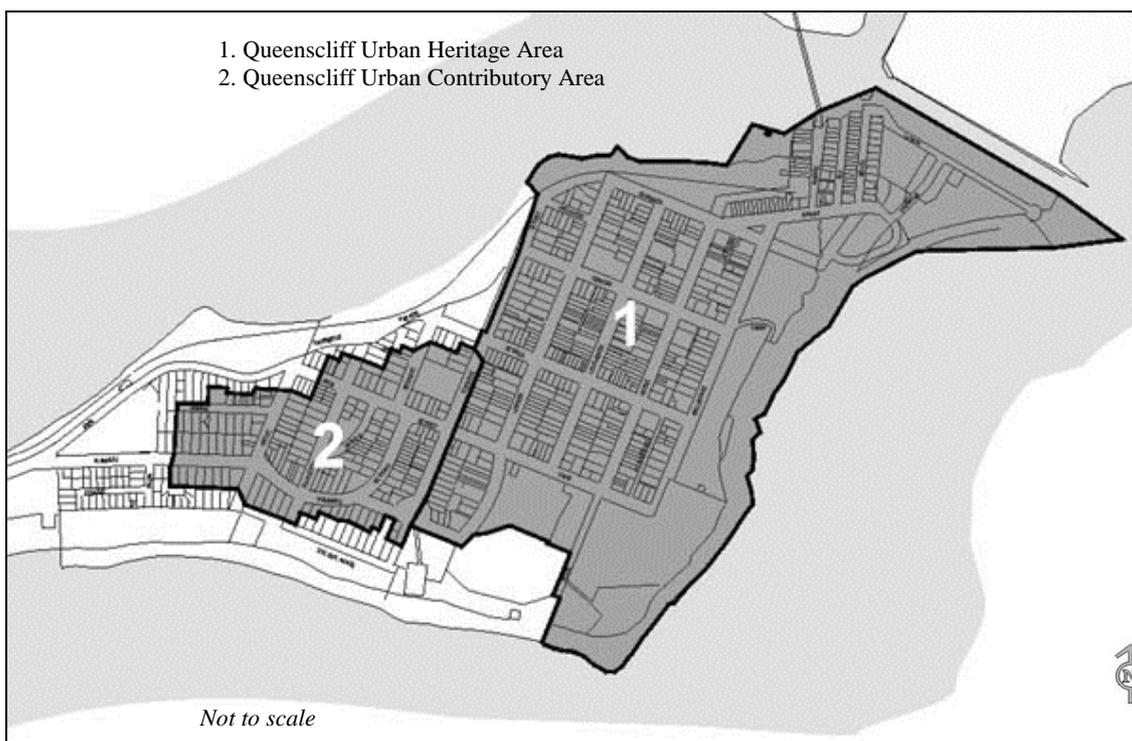
- The height and setback of new buildings retain the existing prevailing rhythm, scale and frontage setback of the streetscape.
- The height of new buildings is such that no individual building or building addition is visually prominent in the streetscape, or townscape skyline.
- The height and setback of new buildings does not cause any adverse significant impact upon the amenity of adjacent dwellings or land.
- New buildings are set back from the front boundary to provide the opportunity for the foundation of established gardens in front setback areas, which contribute to the streetscape setting, where front gardens are a prevailing feature in the street.

### **Fencing, Driveways and Landscaping**

It is policy that:

- Front fences complement and relate to the design, architectural era, materials and finishes of the building on the land.
- New or replacement front fences give regard to the height, configuration and visual transparency of fences on adjoining properties and the predominant height of fences in the street.
- Fences and gates associated with driveways are indistinguishable from fencing along the front of the land.
- Hard surface areas for the provision of driveways and paths are minimised and designed to complement the style, building era and materials of the main building on the land.

- New or replacement outbuildings are sited to the side or rear of existing buildings, behind the front of the building and respond to the roof shape, wall and roofing materials of the main building on the land.
- New development seeks to retain established trees on the land and adjoining road reserve that are visible within the streetscape.
- In streets where front gardens are a prevailing feature in the streetscape, new development should complement existing plantings on the site with appropriate new landscaping to enhance the contribution of front gardens to the character of the street.
- In areas where detached buildings are the prevailing form of development, landscaped setbacks to side boundaries should be provided to minimise the potential for overlooking, whilst providing an important landscape link to rear garden and private open space areas.
- New development should:
  - other than known environmental weeds, retain established trees and vegetation on the site that is visible in the streetscape, public areas and adjoining properties, wherever possible;
  - provide for the retention of any existing or remnant bluestone kerb and guttering or open channel drains;
  - provide for straight, narrow driveways which continue the pattern of formal grid streets and unmade verges into private driveways leading to outbuildings or the side of buildings;
  - provide appropriate landscaping opportunities, shown on a landscape plan, including the use of plant species which relate to existing vegetation on the site and blend with the height and form of existing formal or exotic planting in the area; and
  - ensure that outbuildings are designed in keeping with the style and form of the main building on the land, and are located to the side or rear of the main building, not abutting the street frontage.



**Character Management Area Map 1 – Queenscliff Urban Heritage areas**

**22.03-2**

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**Point Lonsdale Natural Coastal Areas**

This policy applies to all land in the Point Lonsdale Natural Coastal Areas, as shown on the Character Management Area Map 2. It includes the core Point Lonsdale Natural Coastal Area and the Point Lonsdale Contributory Area.

Design and Development Overlay Schedule 4 (*Point Lonsdale Natural Coastal Area*) and Design and Development Overlay Schedule 5 (*Point Lonsdale Contributory Area*) apply to this Character Management Area.

**Policy**

**Site Layout**

It is policy that:

- The layout of new development minimises any visual intrusion into the natural coastal appearance of the area.
- On land where vegetative screens are insubstantial, the layout of new development provides opportunities for landscaped areas in appropriate locations to be planted with Moonah and other indigenous trees to screen buildings from view, extend the roadside vegetation corridor into the site and reinstate the natural coastal environment.
- The layout of new development, paved areas and driveways, car parking, active outdoor living areas and landscape areas is site responsive, having regard to the land’s physical, historic and environmental features, and the location and form of buildings on adjacent land.
- The layout of new development provides for a high quality of living for its occupants and maintains an appropriate standard of amenity for the occupants of adjoining dwellings.

- The layout of new development minimises the removal of existing native or indigenous coastal vegetation that contributes to the natural vegetated setting of the area.
- New development is sited on the flattest portion of the land wherever possible, so as to minimise the need for earthworks and significant disturbance of the land.
- New development should:
  - where possible, provide north facing indoor and outdoor living areas, to maximise solar access;
  - avoid siting buildings on, or near ridgelines or more prominent parts of the site;
  - demonstrate regard for the protection and reasonable sharing of bay or landscape view lines from the site or across the site from other properties;
  - provide appropriate landscape opportunities shown on a landscape plan, which nominates the existing, proposed removal and additional landscaping for the site;
  - provide the opportunity for the retention and addition of indigenous coastal screen planting in front of buildings and between buildings;
  - position and layout buildings to minimise visibility from the street or from other private and public areas;
  - position and setback buildings to retain a uniform vegetative barrier along the street corridor.

### **Building Design**

It is policy that:

- New development is designed to respect and blend in with the existing natural coastal character of the area.
- New development may express a contemporary coastal design, provided such design is respectful of, and interprets the variety of holiday building types and architectural styles that have developed in Point Lonsdale throughout the 20th Century, including the massing and articulation, scale, design features, materials and finishes of such buildings.
- New development is designed having regard for any features of the land, coastal conditions, the quality and intactness of existing vegetative cover, any view corridors from the streets, public spaces and surrounding properties, and the layout of adjacent buildings.
- New development is designed to make efficient use of sites and apply environmentally sustainable design principles, without compromising the natural coastal quality of the area.
- New development should:
  - retain as much of the existing vegetation on the land and road reserve along the front of the land as possible;
  - on sloping sites, use split level design to reduce the height and bulk of buildings, integrate the building into the site and minimise the need for earthworks;
  - use staggered and varied roof lines and pitches, and vary the setback of walls to reduce the visual bulk and impact of buildings on the natural surroundings;
  - adopt innovative building techniques and materials which reduce energy use, and are responsive to coastal conditions;
  - utilise traditional building materials in an innovative manner, including horizontal weatherboard wall cladding, light tone rendered brickwork, corrugated iron roofs, timber verandahs, door and window joinery, and painted finishes;

- use building materials and finishes which are of natural and muted tones, and that blend into the surrounding natural coastal conditions;
- emphasise the horizontal, rather than the vertical form of buildings to reduce the perception of height; and
- avoid direct overlooking into neighbouring properties and minimise the loss of longer distance views across the site from neighbouring properties.

### **Building Height and Setback**

It is policy that:

- The height and setbacks of new development retain the prevailing rhythm, height and setback of existing buildings in the street.
- The height and siting of new development does not visually dominate the streetscape or coastal setting.
- The height of new development does not generally protrude above the tree canopy, particularly on elevated or highly visible sites.
- The height of new development does not protrude above ridgelines to form a silhouette against the sky when viewed from any significant public viewing point.
- The height and setbacks of new development ensures adequate daylight to all habitable rooms and private open spaces on the land.
- New development should:
  - limit roof height so that the roof height is not significantly higher than the prevailing height of buildings in the street;
  - provide a front setback which matches, or is greater than the setback of adjoining buildings, or where the setbacks are different a front setback which is between the setbacks of adjoining buildings, or equal to the average setback of buildings in the street, whichever is the lesser of the two (Point Lonsdale Natural Coastal Area only); and
  - avoids building across the width of the site, from boundary to boundary.

### **Fencing, Driveways and Landscaping**

It is policy that:

- Where possible, new driveways and parking areas should not be visually prominent from the street or from public spaces, are screened by appropriate frontage landscaping, and minimise the extent of vegetation to be removed and hard surface areas.
- The design of new outbuildings should complement the existing building on the site, with regard to roof shape, wall and roofing materials, and are sited to the side or rear of the building to enable convenient access.
- Front fences are discouraged, but where required, are low in height and constructed of transparent materials.
- Existing vegetation, particularly tea tree, Moonah and coastal heath between the building and front boundary and within the road reserve along the front of the site is retained, and complemented by appropriate new planting using predominantly native or indigenous species.
- Side setback areas are appropriately landscaped to minimise the potential for overlooking of adjoining properties, whilst providing an important landscape link to rear garden and private open space areas.
- New development should:

- use curved, narrow and unsealed driveways of minimal length and width;
- minimise the extent of existing native vegetation to be removed, especially within 10 metres of any road frontage or reservation boundary;
- incorporate coastal heath and Moonah in the landscaping of private gardens; and
- use the natural slope of the land to screen buildings from view from roads.



**Character Management Area Map 2 – Point Lonsdale Natural Coastal areas**

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This policy applies to all land in the Foreshore Areas, as shown on the Character Management Area Map 3. It includes all land in the Swan Bay, Port Phillip Bay and Point Lonsdale Road foreshore areas.

Design and Development Overlay Schedule 3 (Foreshore Areas) applies to this Character Management Area.

**Policy****Site Layout**

It is policy that:

- The layout of new development minimises any visual intrusion of buildings or any other elements into the natural foreshore and dune setting.
- The layout of new development is consistent in terms of the location of existing buildings on the site or associated adjacent buildings.
- The layout of new buildings, paved areas, and driveways, car parking, active outdoor living areas and landscape areas has regard to the site's physical, historic and environmental features, and the location of buildings on adjacent land.
- The layout of new development provides a high quality of living for its occupants and maintains an appropriate standard of amenity for the occupants of adjoining dwellings.
- On sites where vegetative screens are insubstantial, the layout of new development should provide opportunities for landscaped areas in appropriate locations to be planted with tea tree and Moonah to screen buildings from view, extend the roadside vegetation corridor, and reinstate the natural environment.
- The layout of new development minimises the removal of any existing native coastal vegetation on the site and along the adjacent road reserve.
- New development is sited on the flattest portion of the land, wherever possible, to minimise the need for earthworks and significant disturbance of the land.
- New development should:
  - where possible, provide north facing indoor and outdoor living areas, to maximise solar access;
  - provide a frontage to the street and sense of address;
  - be sited to minimise views to the building from the street and other public places, and to provide opportunities for native coastal planting in front of the building and between adjacent buildings;
  - avoid siting buildings on, or near ridgelines or more prominent or visible parts of the site, especially as viewed from along the Port Phillip Bay foreshore.

**Building Design**

It is policy that:

- The design of new development blends in with the prevailing coastal character of the area and expresses an appropriate coastal design that interprets and reflects the architectural style, massing, scale, proportion, materials and finishes of established resort/holiday-style buildings in the area.

- The design of new development has regard for any features on the land, any sensitivities associated with coastal environments, and any view corridors from the streets, public places, surrounding properties, foreshore areas and the bay.
- New building design makes efficient use of the site, especially natural ventilation, daylight and solar energy, without compromising the natural coastal quality of the area.
- New development has regard to the style, form and scale of any primary existing building on the land, and minimises its visual impact within the foreshore setting.
- New development should:
  - use staggered and varied roof lines (including pitches or curves) and vary the setback of walls to reduce the visual bulk and impact of buildings on the natural coastal surroundings;
  - adopt innovative coastal design themes, including the use of lightweight, glazed and metallic materials, open decks and balconies, curved roofs and refreshing coastal colours;
  - use spilt level design to better integrate the development on sloping sites and minimise the need for earthworks;
  - use robust coastal building materials, including horizontal and vertical weatherboard wall cladding, light tone rendered brickwork, Colourbond roofs, timber and stainless steel verandahs, doors and windows, and painted finishes where appropriate;
  - adopt innovative building design techniques and materials that reduce energy use, and are responsive to coastal conditions;
  - avoid direct overlooking into neighbouring properties and minimise the loss of significant views across the site from neighbouring properties; and
  - in the Port Phillip Bay and Point Lonsdale Road Foreshore Areas, incorporate a palate of colour finishes which are non-reflective and of natural tones, which blend in with the vegetated coastal setting.

### **Building Height and Setbacks**

It is policy that:

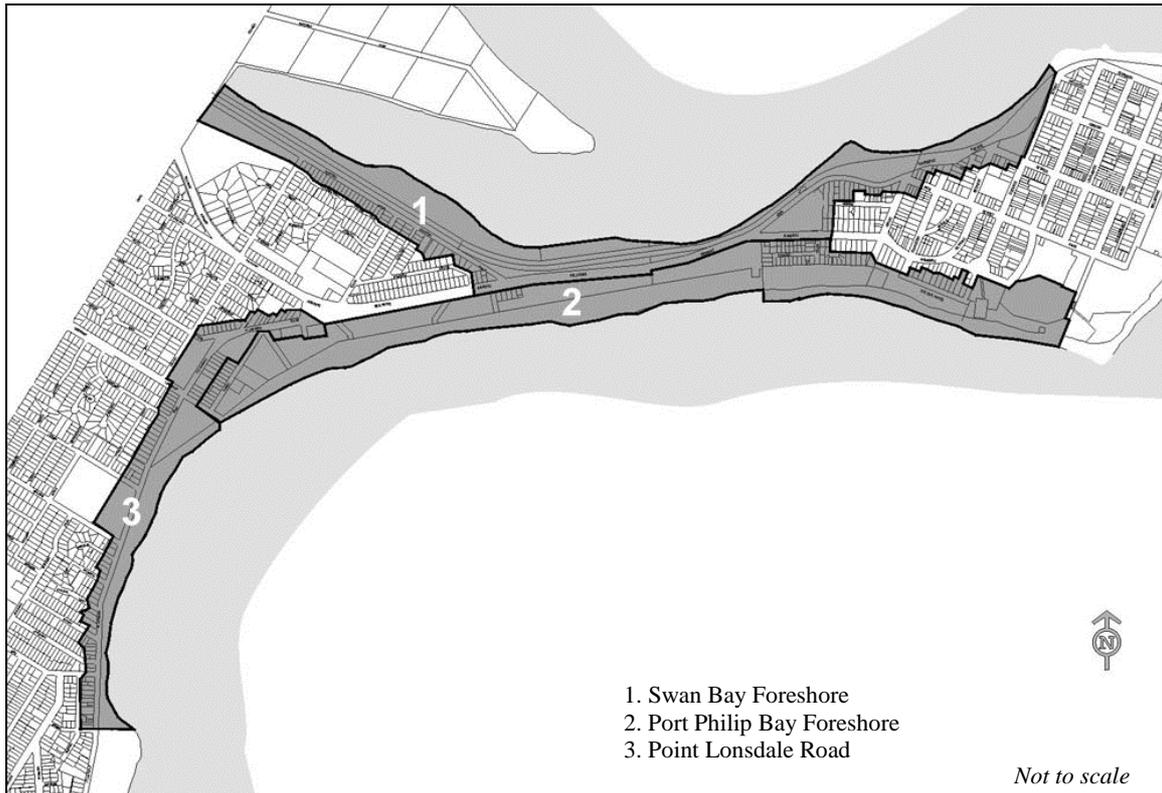
- The height and setback of new development retains the existing prevailing rhythm, height and setback of the street and the foreshore.
- The height and setback of new development ensures that no individual building or building addition dominates the streetscape, dune or coastal landscape.
- The height of new development does not protrude above the ridgeline of the dunes, or in particularly sensitive locations, project above the coastal tree canopy to form a silhouette against the sky when viewed from the foreshore or any significant public viewing point.
- The height and setback of new development ensures adequate daylight to all habitable rooms and private open spaces on the land.
- The siting of new development, where appropriate, provides the opportunity for the foundation of established gardens in front setbacks to contribute to the coastal and streetscape setting.
- The height of new development is not significantly higher than the height of adjoining buildings or other buildings in the street;
- A front setback is provided which matches the setback of adjoining buildings, and where these setbacks are different, a front setback which is between the setbacks of adjoining buildings or equal to the average setback of buildings in the street, whichever is the lesser of the two.

- Avoid building across the width of the site, from boundary to boundary.

### **Fencing, Driveways and Landscaping**

It is policy that:

- Fencing, particularly to the site's front or coastal boundary in the Swan Bay Foreshore Area, relates strongly to the open and transparent character of the coastal setting.
- New driveways and paths provide adequate access and minimises surface drainage run-off in coastal or dune environments.
- New driveways and parking areas are not visually dominant at the street or from public spaces, or are screened by appropriate frontage landscaping.
- The design of outbuildings demonstrates regard for the style and form, roof shape, wall and roof materials and finishes of existing buildings on the site, and is screened from street or foreshore view.
- New landscaping opportunities are provided which complement existing site landscaping with appropriate new native or indigenous planting to assist in blending-in new development into the coastal setting.
- Where appropriate, landscaped setbacks to side boundaries are provided to minimise the potential for overlooking, whilst providing a visual landscape link to rear garden and private open space areas.
- New development should:
  - include curved, narrow and unsealed driveways (use gravel and other permeable pavement materials), which limit impact upon existing vegetation;
  - use the natural slope of the land or mounding to screen buildings from view in the Port Phillip Bay Foreshore Area and from roads;
  - use visually permeable fencing treatments to the site's foreshore boundary (where applicable);
  - use coastal heath and Moonah in landscaping of private gardens;
  - limit front fences in the Point Lonsdale Foreshore Area;
  - use lightly structured timber post and wire front fences to a maximum height of 1.2 metres, or no fences in the Swan Bay Foreshore Area; and
  - retain existing native coastal vegetation, wherever possible.



### Character Management Area Map 3 – Foreshore Areas

#### 22.03-4 Reference documents

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*Borough of Queenscliffe Urban Character Study* (Hansen Partnership & Context CMI) 2000.