

14/04/2016
C185(Part 2)**SCHEDULE 5 TO THE NEIGHBOURHOOD CHARACTER OVERLAY**

Shown on the planning scheme map as **NCO5**.

EDWARDIAN ERA SIGNIFICANT CHARACTER AREAS**1.0**14/04/2016
C185(Part 2)**Statement of neighbourhood character**

The Edwardian areas are distinctive streetscapes of weatherboard or brick cottages set in established gardens. While buildings of other eras, including Victorian and Interwar, are evident in the streetscapes, they have a strong overall consistency of character.

Buildings are mostly single storey scale, with an asymmetrical plan form and projecting front room with gable end. Materials are typically red-orange brick or light-coloured weatherboard and slate or terracotta tiled roofs. Original buildings have many distinctive decorative features including timber fretwork, window awnings, elaborate chimneys, stucco and timber gable ends, bay windows with lead light and contrasting paintwork. Front fences are typically painted timber picket or low red-orange brick to match the dwellings.

Preferred neighbourhood character

The preferred neighbourhood character for these areas is defined by the continued presence of Edwardian dwellings, and new dwellings that reflect the key characteristics of the streetscape which comprise:

- Single storey detached built form, with second storeys recessed behind the front façade.
- Asymmetrical building form of projecting front room with gable end and front verandahs. other than in Stanhope Street area, where built form is larger, more elaborate and often includes corner verandahs.
- Parallel orientation of buildings to the street with consistent front and side setbacks.
- Established planting, including canopy trees, in the front, side and rear setbacks.
- Use of red-orange brick cladding, light-coloured render or painted weatherboard. other than:
 - In Closeburn Avenue and Stanhope Street, where predominantly brick and render is used.
 - In Ardrie Road, where only painted weatherboard is used.
- Pitched, hipped roofs with gables, clad in corrugated iron or terracotta tiled.
- Car parking and car parking structures located behind the dwelling with side driveway access, where present, other than:
 - For attached pairs of dwellings, where no vehicle access from the street and no car parking structures are accessible from the street frontage.
- Low brick or painted timber picket front fences other than:
 - In Stanhope Street, where fencing is only low red-orange brick with columns and / or painted timber picket.
 - In Ardrie Road, where fences are only painted timber picket fences.

2.0 Neighbourhood character objectives

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To ensure that new buildings and works contribute to the preferred neighbourhood character of the area.

To encourage the retention of intact, original dwellings that contribute to the preferred neighbourhood character of the area.

To maintain the established pattern of front and side setbacks in the street.

To ensure that new dwellings or extensions to existing dwellings respect the dominant building height, form, façade articulation, materials and roof forms of the streetscape.

To ensure that the use of design detail in new buildings complements, rather than mimics, that of the predominant building styles in the street.

To maintain the pattern of low front fencing that creates a sense of openness in the streetscape, allows views of dwellings, front lawns and gardens, and complements the building era and style.

To minimise the loss of front garden space due to car parking and driveways, and minimise the dominance of car parking structures in the streetscape.

To ensure space is available for the planting of trees and gardens.

3.0 Permit requirement

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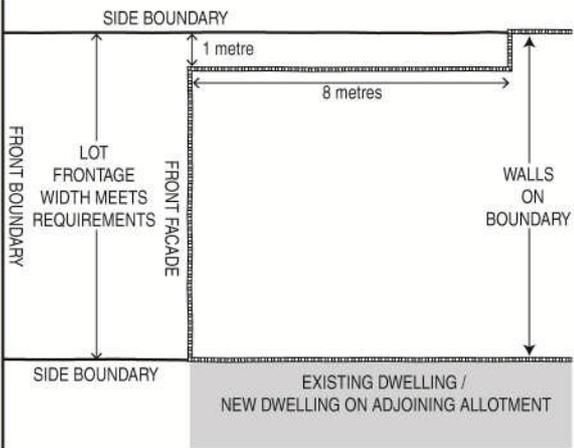
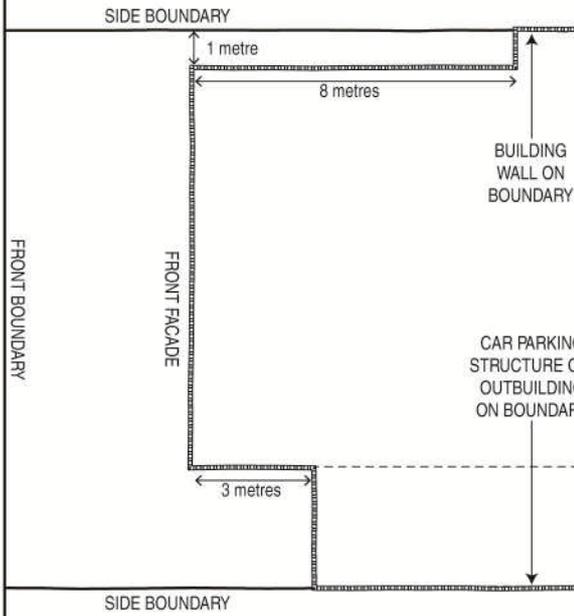
A permit is required to:

- Construct or extend an outbuilding normal to a dwelling.
- Demolish or remove a building.

4.0 Modification to Clause 54 and Clause 55 standards

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Standard	Modified requirement		
Street setback A3 and B6	Walls of buildings should be setback from streets the distance specified in Street Setback Table below.		
	Street Setback Table		
	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)
	All buildings	Equal to the prevailing setback from the front street of all dwellings within the same Overlay area.	Equal to the prevailing setback from the side street of all dwellings on a corner allotment within the same Overlay area.
Walls on boundaries A11 and B18	<p><u>Properties with pairs of attached dwellings</u></p> <p>The following walls on boundaries requirements apply for pairs of lots in:</p> <ul style="list-style-type: none"> ▪ Dixon and Jordan Streets where each lot frontage width is less than 7.5 metres ▪ Closeburn Avenue where each lot frontage width is less than 8 metres ▪ Stanhope Street where each lot frontage width is than 10 metres <p>Where a pair of adjoining lots is developed simultaneously, walls</p>		

Standard	Modified requirement
	<p>may be constructed on the boundary to form a common party wall.</p> <p>Where one lot is redeveloped, a wall should be constructed on the boundary to conjoin with the existing wall on the boundary of the adjoining allotment.</p> <p>On the other side boundary, a wall on the boundary may be constructed where the wall is setback a minimum of 1 metre from the side boundary for a minimum distance of 8 metres from the front facade of the building (see the following sketch which shows minimum setback requirements).</p>  <p>Other properties</p> <p>In other areas, a wall may be constructed on a boundary where:</p> <ul style="list-style-type: none"> It is a car parking structure or outbuilding that is setback at least 3 metres from the front facade of the building, and located on one side boundary only; or It is any other part of the building and is setback a minimum of 1 metre from one side boundary for a distance of 8 metres from the front facade of the building (see the following sketch which shows the minimum setbacks). 

Standard	Modified requirement
	<p><u>All areas</u></p> <p>All other requirements of Standards A11 and B18 continue to apply.</p>
<p>Design detail A19 and B31</p>	<p>The design of buildings and extensions should respect the preferred neighbourhood character of the area, specifically in relation to:</p> <ul style="list-style-type: none"> ▪ Scale and form, ▪ Roof form, pitch and eaves, ▪ Number of storeys, ▪ Materials and finishes, ▪ Façade articulation, ▪ Building siting, and ▪ Siting and design of vehicle access and car parking structures. <p>New buildings should interpret the detailed elements of original dwellings that contribute to the neighbourhood character significance of the area in an innovative and contemporary manner that complements, rather than replicates, period dwelling styles.</p> <p>Pairs of attached dwellings should present to the street as a single dwelling particularly through its scale, form, roof design and siting.</p> <p>Second storey elements of new dwellings, and second storey additions to existing dwellings should be sited and designed so that the single storey part of the building, including its roof form, is the dominant visual element when viewed from the street. This will require second storey elements to be:</p> <ul style="list-style-type: none"> ▪ Set back 8 metres from the front building façade where the main ridge line of the roof is perpendicular to the street, or located behind the main ridgeline of the roof where this is parallel to the street, and ▪ Designed to complement the form and proportions of the existing dwelling or, if a new dwelling, other dwellings in the street. <p>A car parking structure should be:</p> <ul style="list-style-type: none"> ▪ Visually unobtrusive and compatible with the development and the preferred neighbourhood character. ▪ A maximum width of 4 metres where visible from the street. ▪ Located at least 3 metres behind the front facade of the building. <p>Hard paving surfaces within the front setback should be kept to a minimum to maximise landscaping.</p> <p>All other requirements of Standards A19 and B31 continue to apply.</p>
<p>Front fences A20 and B32</p>	<p>The design of front fences should complement the era and design of the dwelling. For front fences within 3 metres of a street frontage along Stanhope Street this includes:</p> <ul style="list-style-type: none"> ▪ A timber picket fence up to 1.5 metres; or ▪ A timber picket fence up to 1.5 metres with low fence with brick columns up to 1.8 metres. <p>For front fences within 3 metres of a street frontage along Ardie Road this includes:</p> <ul style="list-style-type: none"> ▪ A timber picket fence up to 1.2 metres. <p>For front fences within 3 metres of a street frontage in other areas this includes:</p>

Standard	Modified requirement
	<ul style="list-style-type: none"> ▪ A timber picket fence up to 1.2 metres; or ▪ A brick or rendered masonry fence up to 0.8 metres.

5.0

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Decision guidelines

Before deciding on an application, the Responsible Authority must consider as appropriate:

- The extent to which the proposed buildings or works contribute to the preferred neighbourhood character of the area.
- The extent to which any building to be demolished, extended or otherwise modified, contributes to the preferred neighbourhood character of the area.

Reference

Stonnington Neighbourhood Character Review, Planisphere, 2013)

Stonnington Neighbourhood Character Review Addendum, Planisphere, 2014