

24/03/2016
C88**SCHEDULE 1 TO CLAUSE 32.09 NEIGHBOURHOOD RESIDENTIAL ZONE**Shown on the planning scheme map as **NRZ1**.**RESIDENTIAL DEVELOPMENT SOUTH OF STEVENS STREET, SALE****1.0**24/03/2016
C88**Minimum subdivision area**

Subdivision of the land must be in accordance with Wellington Planning Scheme permit numbers P124/2013 and P373/2012.

A permit may be granted to vary this requirement in the following circumstances:

- The subdivision realigns the boundary between existing lots, provided no new lot or additional subdivision potential is created.
- The subdivision is being undertaken to create land for a road, utility installation or for any other public purpose.

2.024/03/2016
C85**Permit requirement for the construction or extension of one dwelling on a lot**

	Requirement
Permit requirement for the construction or extension of one dwelling on a lot	None specified
Permit requirement to construct or extend a front fence within 3 metres of a street on a lot	None specified

3.024/03/2016
C88**Requirements of Clause 54 and Clause 55**

	Standard	Requirement
Minimum street setback	A3 and B6	5 metres
Site coverage	A5 and B8	Contained within building envelope as per Diagrams 1 and 2
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	As per Diagrams 1 and 2
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	1 metre

4.024/03/2016
C85**Number of dwellings on a lot**

The number of dwellings on a lot must not exceed one, excluding a dependent person's unit.

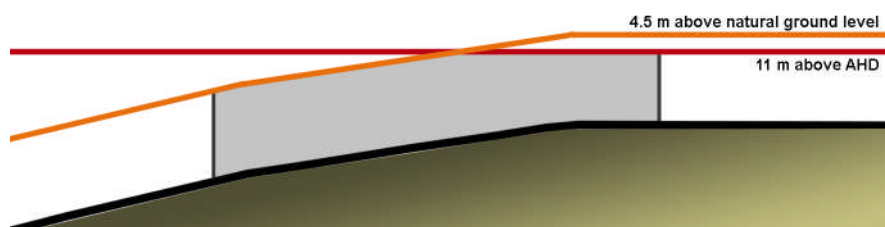
Dependent person's unit

No more than one dependant person's unit may be constructed on a lot. This requirement cannot be varied with a permit.

5.0 Maximum building height requirement for a dwelling or residential building

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A building used as a dwelling or a residential building must not exceed a height of 4.5 metres above natural ground level or 11 metres above AHD, whichever is the lowest.



6.0 Application requirements

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None specified.

7.0 Decision guidelines

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Before deciding on an application, the responsible authority must consider, as appropriate:

- The impact of the development on the environment, landscape values and character of Stevens Street and the Ramsar wetlands.
- The height of buildings to ensure that they retain an inconspicuous profile and do not dominate the landscape.
- Whether opportunities exist to avoid a building being visually obtrusive by the use of alternative building designs, including split level building forms that follow the natural slope of the land and reduce the need for site excavation or filling.



Diagram 1: Building envelopes/subdivision plan opposite 37-39, 41 Stevens Street, Sale



Diagram 2: Building envelopes and subdivision plan 74 Stevens Street, Sale